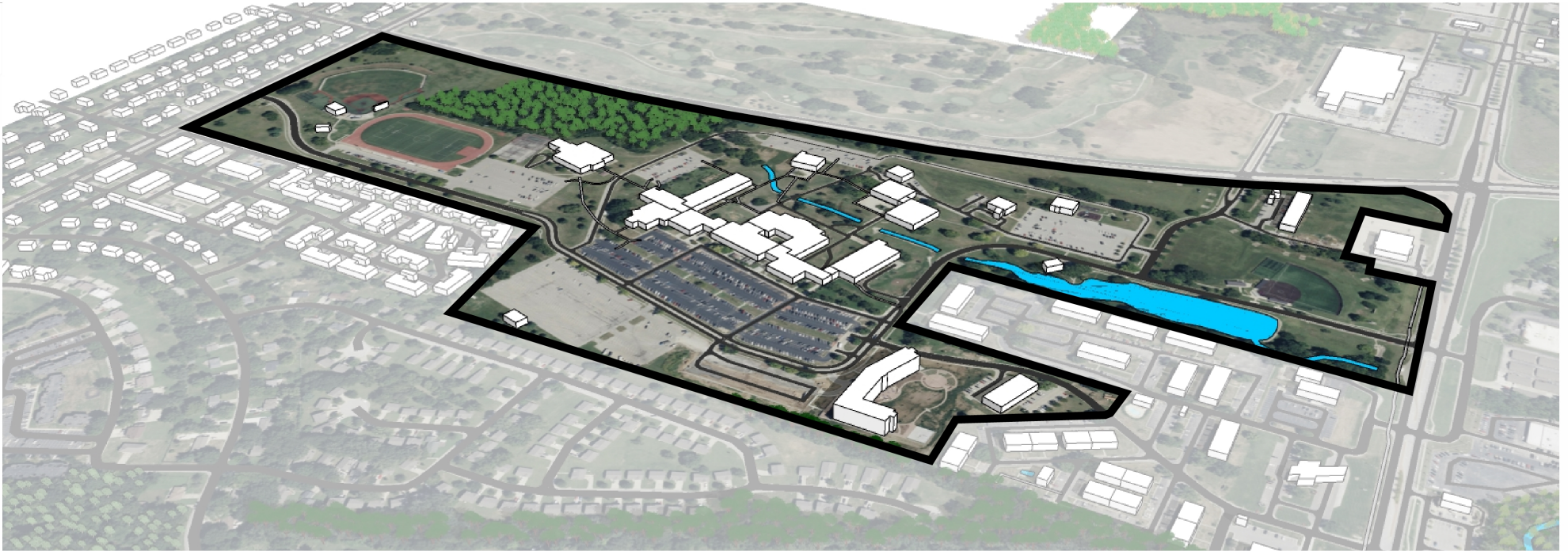


KCKCC

MAIN CAMPUS



GENERAL NOTES:

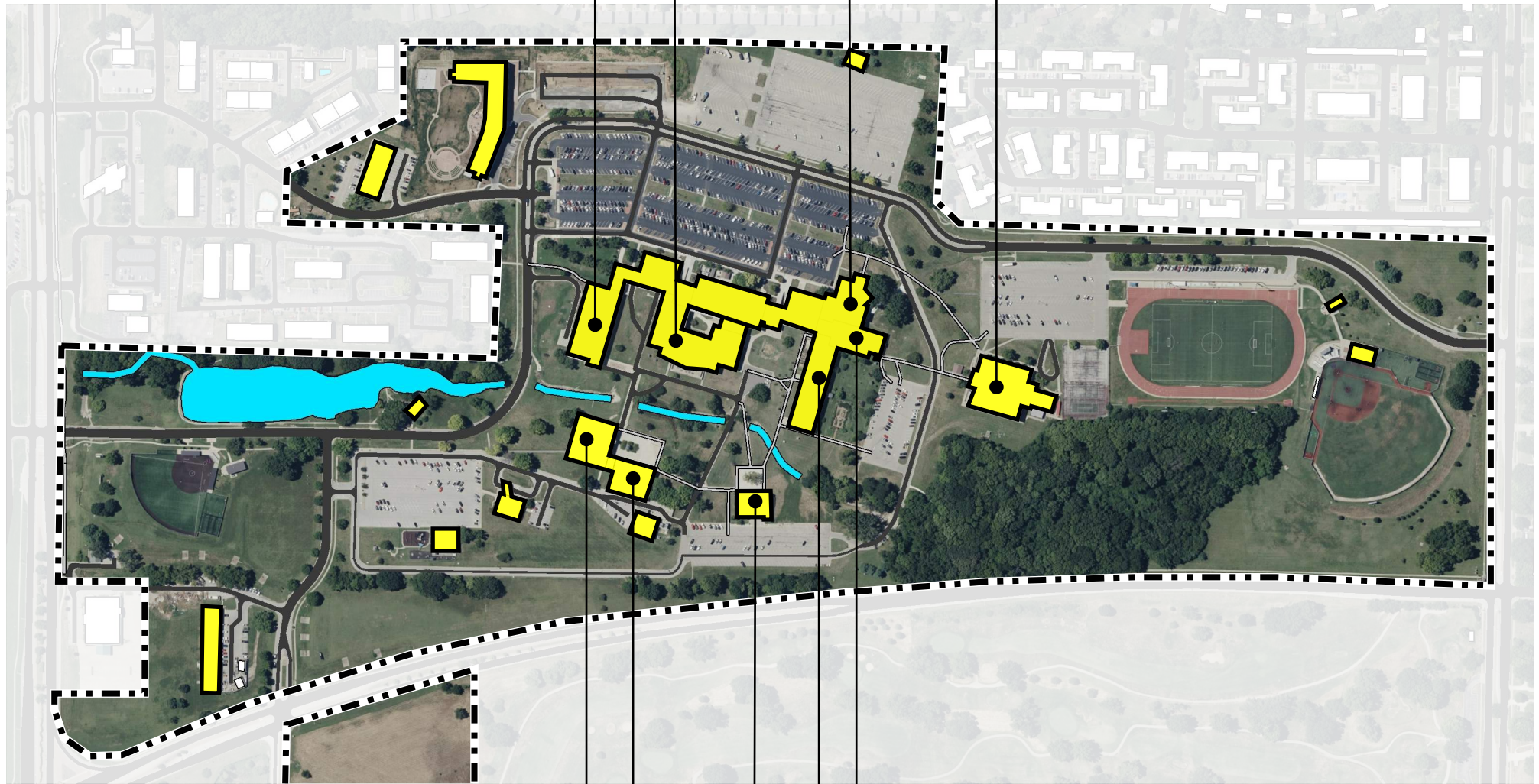
1. Costs include construction costs only and do not include professional fees and FFE.
2. Projects are not prioritized in any particular order.

TREANOR^{HL}

09.19.2023

MAIN CAMPUS

EXISTING SITE CONDITIONS



Humanities

Jewell

Performing Arts Center

Field House

Learning Commons

Health Professionals

Nursing

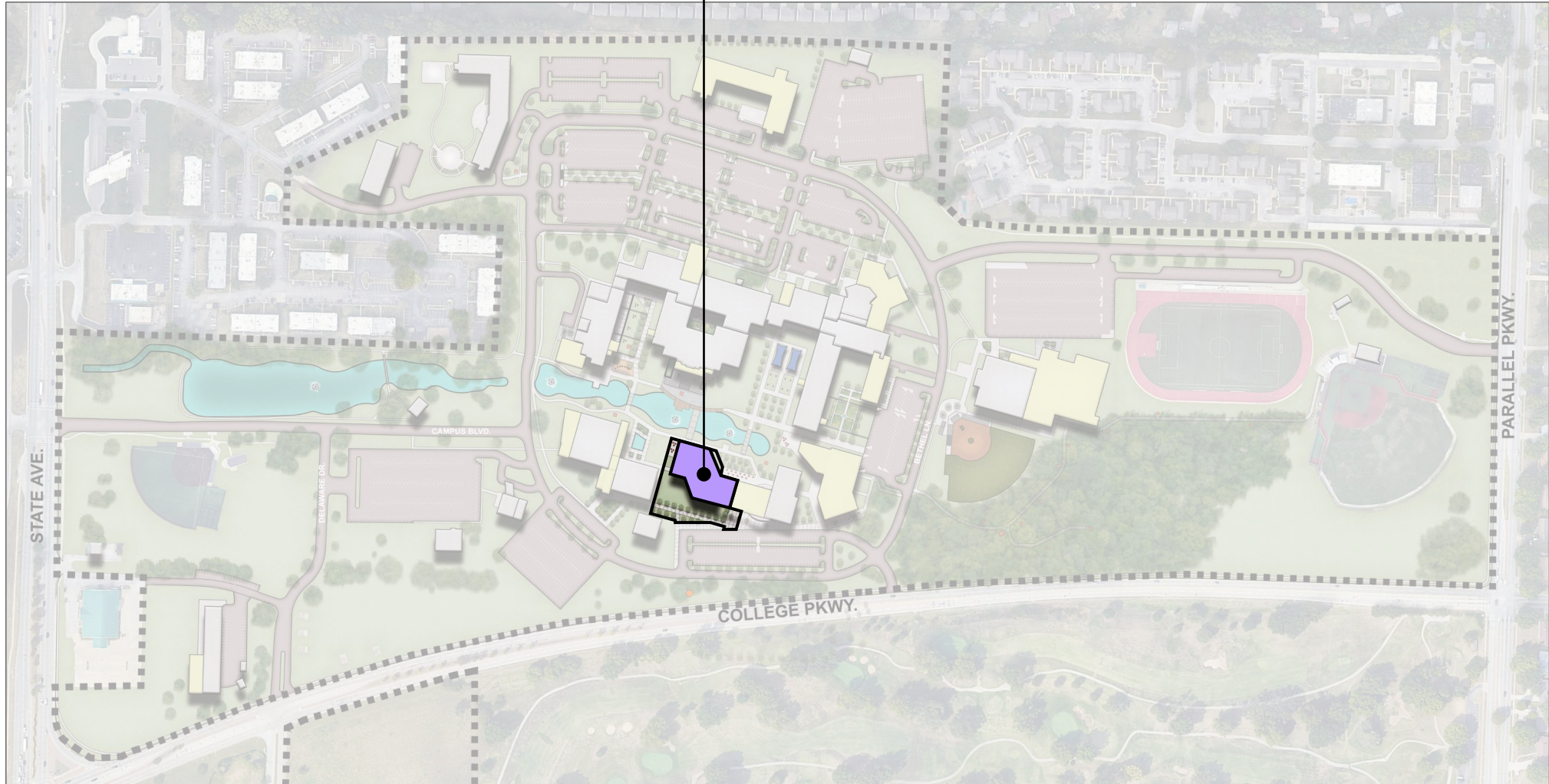
Flint

Community Education

MAIN CAMPUS

MASTER PLAN PROJECTS

A.1 - Student Union



PROJECT A.1

Student Union

Quantity	25,813 SF
Const. Cost	\$11,641,663
Unit Cost	\$451/SF

PROJECT DESCRIPTION

Creating a Student Union will consolidate student services into a central location for students access, and provide more space to enhance those programs.

The Student Union is connected to the Dining and Event Center building, and must be designed to anticipate that relationship, if the projects are built in phases. The project includes student services offices, the bookstore, health services, recreation spaces, and the associated outdoor site work.

Before this building can be built, the existing Continuing Education Building must be demolished, and the current occupants relocated. Refer to project C.



MAIN CAMPUS

MASTER PLAN PROJECTS

A.2 - Event Center + Dining + Outdoor Plaza



PROJECT A.2

Event Center + Dining + Outdoor Plaza

Quantity	49,037 SF
Const. Cost	\$22,115,687
Unit Cost	\$451/SF

PROJECT DESCRIPTION

The Event Center will provide a multipurpose space for large meetings, banquets and other events to be utilized by many college departments. The attached Dining facility will provide students multiple dining venues and seating options including exterior space.

The Dining facility and Event Center buildings are connected buildings, and must be designed for connection to the Student Union (reference project A.1), even if the projects are built in phases. An outdoor plaza provides an opportunity for an exterior dining experience.

Before this building can be built, the existing Continuing Education Building must be demolished, and the current occupants relocated. Refer to project C.



MAIN CAMPUS

MASTER PLAN PROJECTS

B - Early College Renovation + Courtyard



PROJECT B

Early College Renovation + Courtyard and Upgrade the exterior of the Print Shop Building

Quantity 48,325 SF
Const. Cost \$19,051,250
Unit Cost \$394/SF

PROJECT DESCRIPTION

The renovation of the existing Learning Commons and Health Professions buildings into a building for Early College would create an enhanced experience focused on the high school student population.

This project would include a new south entry facade with a prominent view from the south on College Blvd. The addition of a circulation core between the buildings will provide an accessible entry from the east parking lot and the renovated exterior courtyard to the west, with a water feature and related site circulation and amenities. The exterior facades of the Print Shop building will be enhanced to blend in with the new aesthetic of the Early College Building.

The existing Learning Commons, Wellness Center and Health Professions programs will need to be relocated before this project can begin. Refer to projects D - Learning Commons, E - Health Professionals, and F - Fieldhouse.



MAIN CAMPUS

MASTER PLAN PROJECTS

C - Community Education Addition + Entry Plaza



PROJECT C

Community Education Addition + Entry Plaza

Quantity 6,000 SF
Const. Cost \$2,670,00
Unit Cost \$445/SF

PROJECT DESCRIPTION

Relocating the Community Education department closer to the main campus entrance to integrate the students in those programs with the rest of campus.

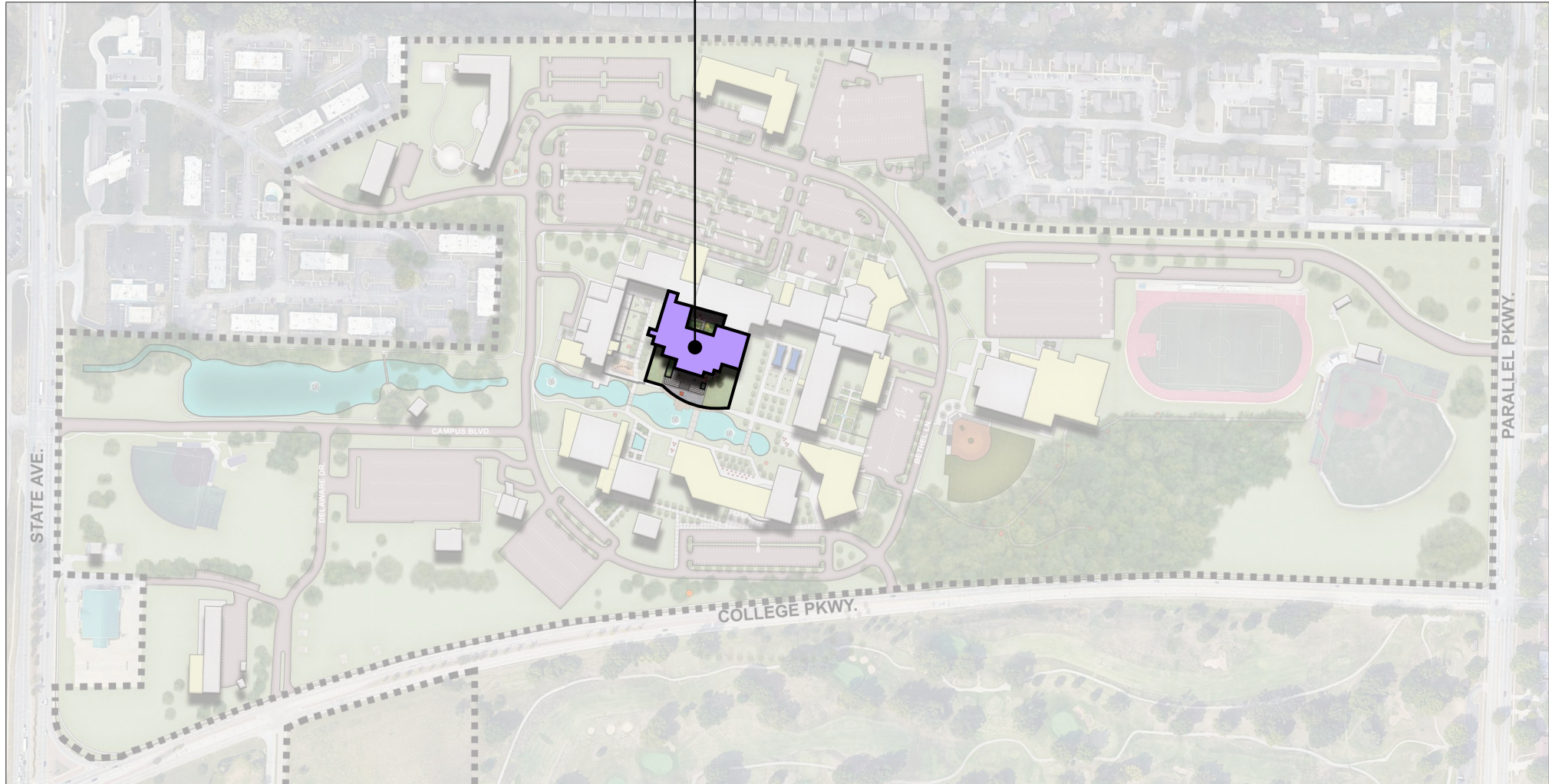
The project consists of a two-story addition to the Humanities building to house the community education department, with an entry plaza to the west and an elevator is included.



MAIN CAMPUS

MASTER PLAN PROJECTS

D - Jewell Lounge addition + Learning Commons relocation + Coffee Shop



PROJECT D

Jewell Lounge addition + Learning Commons relocation + Coffee Shop

Quantity	35,000 SF
Const. Cost	\$9,690,625
Unit Cost	\$277/SF

PROJECT DESCRIPTION

Collocating outside the classroom support in one place by moving the Learning Commons to a more central location will make it more accessible and provide students quicker access to support for coursework.

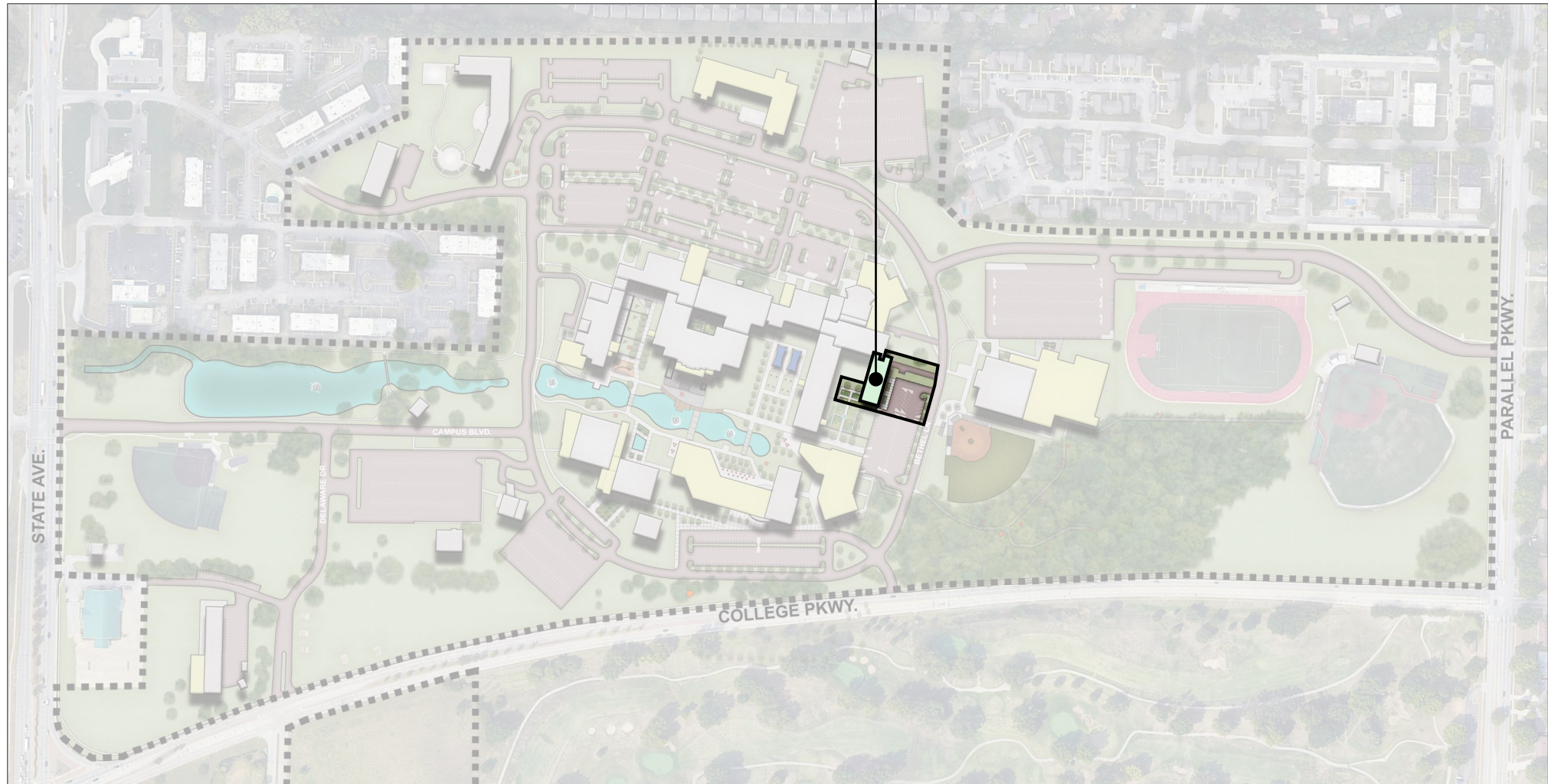
Relocating the Learning Commons to the lower level of Jewell, will include an interior remodel, an elevator, and a small two-story volume addition to the east façade of Jewell to improve the connection to the exterior and create an energetic student community space adjacent to new campus amenities. The new outdoor space is the heart of the campus and student experience and will provide easy access to other buildings on campus.

The renovation will require the existing student services and bookstore to be relocated to the Student Union. Refer to project A.1.



MAIN CAMPUS

MASTER PLAN PROJECTS



PROJECT E

New Health Building with Simulation Hospital
+ Ambulance Drive off Ring Road

Quantity	9,000 SF
Const. Cost	\$5,175,000
Unit Cost	\$575/SF

PROJECT DESCRIPTION

To better prepare students to enter health care careers, renovated facilities will provide experiential and simulation learning environments for students. Having the various departments interacting in a real world environment will create real life learning experiences.

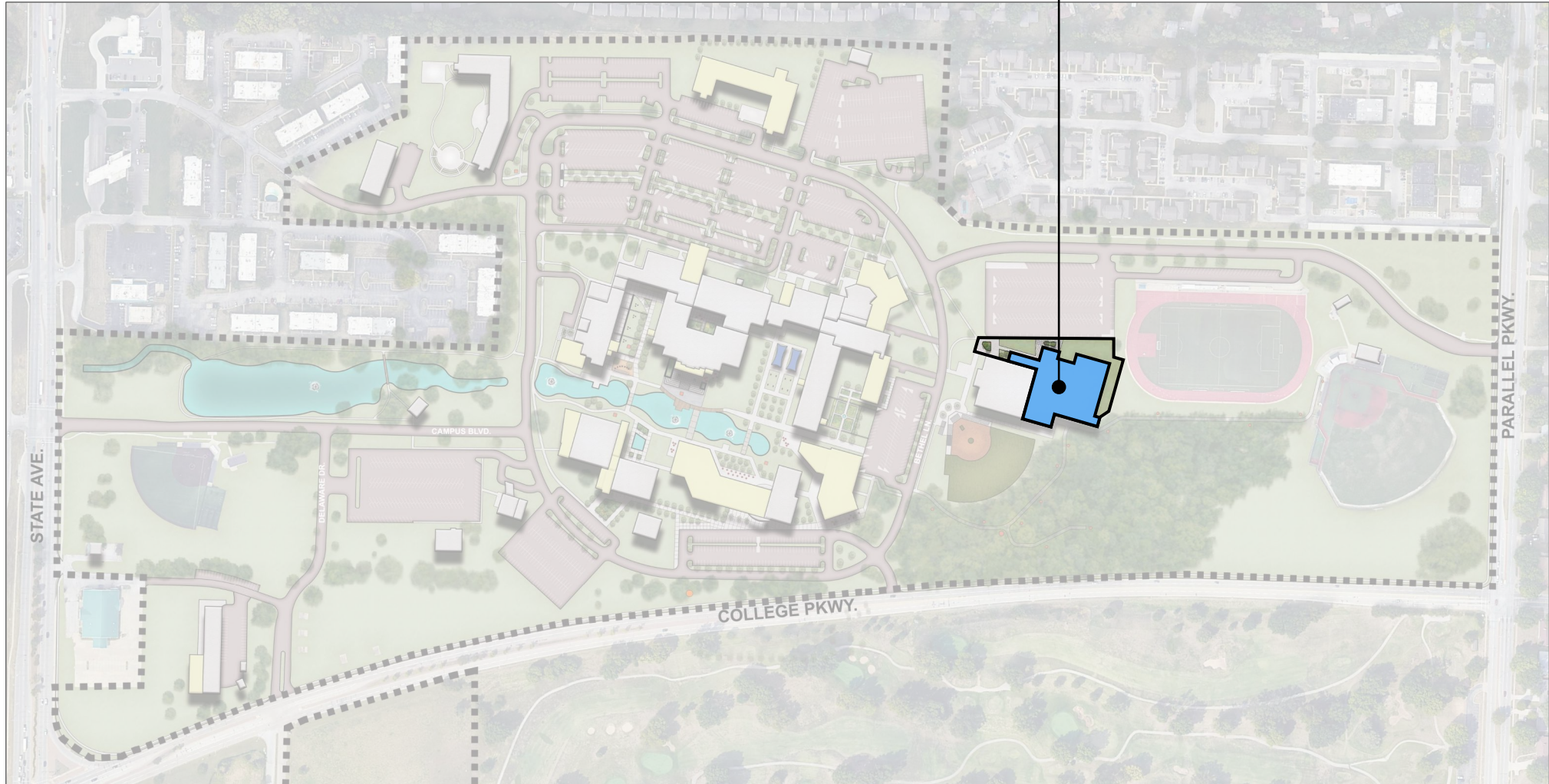
Collocating the Health Professions departments in one location within the Nursing and Flint buildings will require a two-story addition. The new addition will include a simulation hospital, an ambulance drive, canopy, service elevator, and an entrance plaza adjacent to the existing parking lot. New sidewalks will provide access to the existing garden.

An interior remodel would be required to relocate the Health Professions programs into the existing buildings and to attach the building additions, but this is not currently included in this project cost.



MAIN CAMPUS

MASTER PLAN PROJECTS



F - Fieldhouse Addition +
Wellness Addition

PROJECT F

Fieldhouse Addition + Wellness Addition

Quantity 29,900 SF
Const. Cost \$13,045,000
Unit Cost \$436/SF

PROJECT DESCRIPTION

Enhancing the Fieldhouse will support student athlete recruitment, better prepare them to compete, and create an improved experience for the visiting teams and the community.

Consisting of an addition to the north side of the existing Field House, the building will be built on the site of the existing tennis courts. The project will include an indoor training area for outdoor sports, a Wellness Center that can be used by students, faculty and the public, a weight room, and renovated concessions and restrooms.

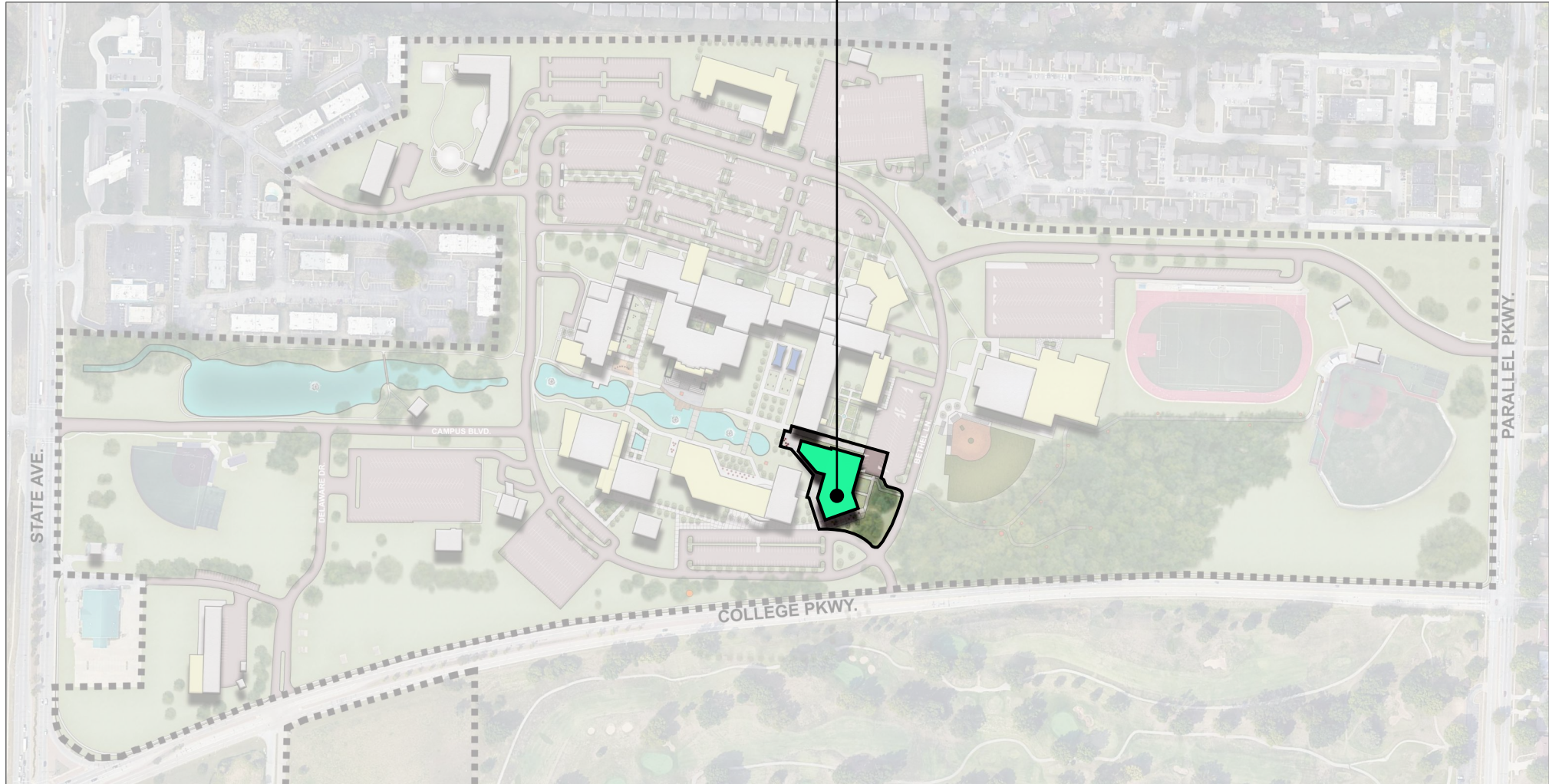
The existing Wellness Center would be relocated to this building from its current location in the Health Professions building.



MAIN CAMPUS

MASTER PLAN PROJECTS

G - Innovation Center



PROJECT G

Innovation Center

Quantity	30,000 SF
Const. Cost	\$14,250,000
Unit Cost	\$475/SF

PROJECT DESCRIPTION

The Innovation Center will facilitate collaboration with industry partners and training in emerging technologies. Serving the community and secondary students as a place for activities and engagement.

The Innovation Center will consist of a new two-story building and adjacent site work including storm water management. The new facility will house offices, classrooms, entrepreneurial business incubator and industry collaboration spaces, a fabrication maker space, and workshop spaces to support the needs of an innovation center. A wide sidewalk must be provided to maintain access to mechanical units within the interior courtyards.



MAIN CAMPUS

MASTER PLAN PROJECTS



PROJECT H

Performing Arts Center Renovation, Addition
+ Loading Dock and Drive

Quantity 24,000 SF
Const. Cost \$10,087,500
Unit Cost \$420/SF

PROJECT DESCRIPTION

The Performing Arts Center will be renovated and expanded to support an array of performing arts activities and productions, set lay down and construction and enhanced community events.

The addition will include a new entrance and lobby space with restrooms, a lounge, black box theater, scene shop and related mechanical and electrical spaces. To address stormwater management, regrading will be required at the location of the new dock and service drive. The existing theater will be renovated with new finishes, seating, and acoustical improvements.



MAIN CAMPUS

MASTER PLAN PROJECTS

I - Improved landscaping and paths at entrance for access



PROJECT I

Improved landscaping and access paths at entrance

Quantity	7 Acres
Const. Cost	\$639,583
Unit Cost	\$1,384/SF

PROJECT DESCRIPTION

The west parking lot will be modified to increase pedestrian safety and accessibility. The student experience will be enhanced with landscaping and shade trees along the sidewalks to the current and future residence hall, as well as, the main academic building.

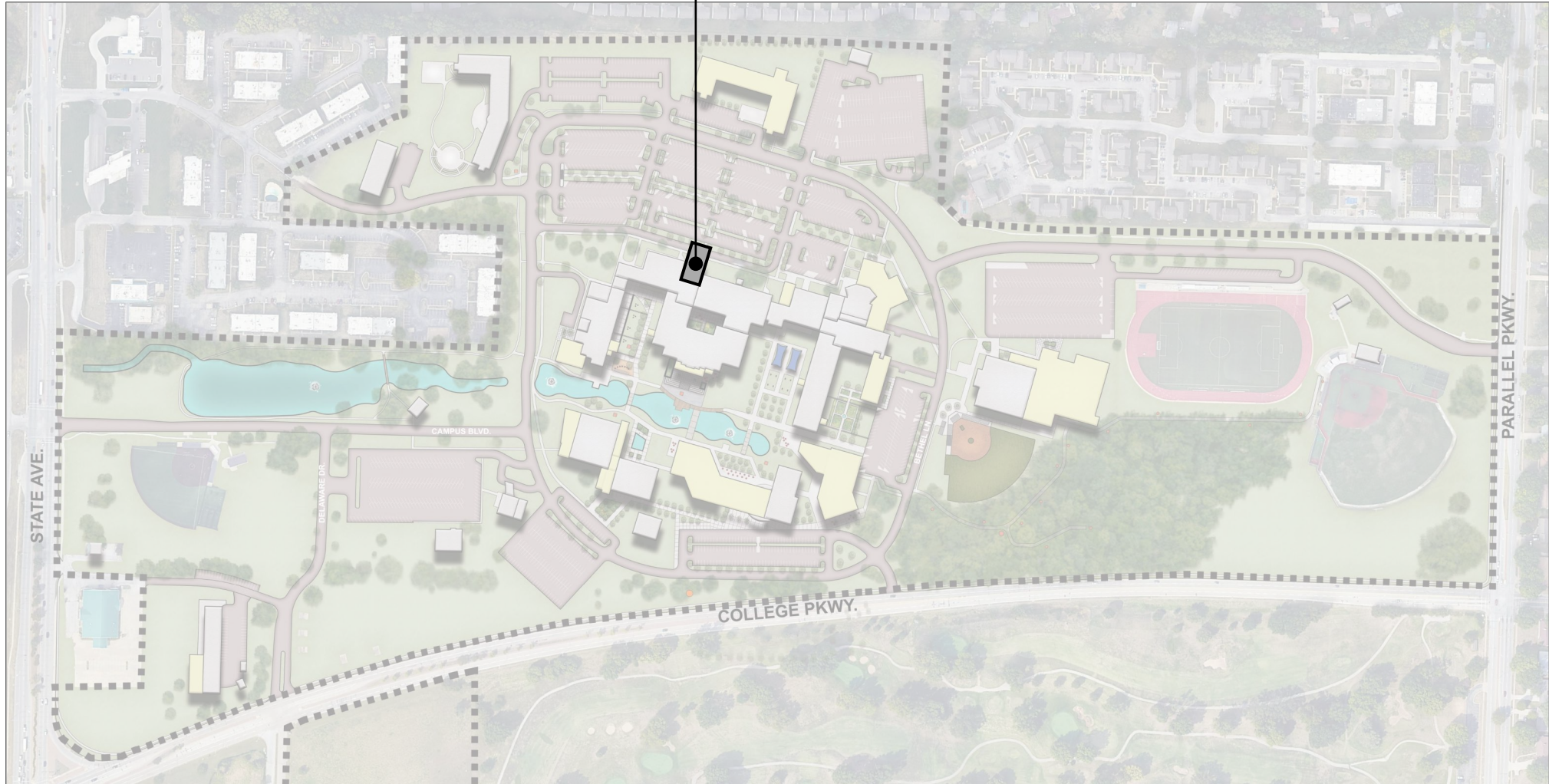
Sidewalk and shade trees will be added along the central islands for pedestrian access without having to cross the parking lots. In some areas, paved islands will be removed and replaced with larger green islands containing vegetation and ground covering.



MAIN CAMPUS

MASTER PLAN PROJECTS

J - New Entrance Addition with Canopy



PROJECT J

New Entrance Addition with Canopy

Quantity	6,700 SF
Const. Cost	\$3,370,000
Unit Cost	\$503/SF

PROJECT DESCRIPTION

The addition of a canopy will define the main entrance, and help with wayfinding for those new to campus. It will draw students in and create a safer and more welcoming first impression.

The addition will include a new covered entrance canopy extending over the access drive for drop-off and pickup. The enclosed vestibule will house a lounge space and new stair connection to the lower level, with both protected from the elements.



MAIN CAMPUS

MASTER PLAN PROJECTS

K - One-Stop-Shop Renovation



PROJECT K

One-Stop-Shop Renovation

Quantity	3,216 SF
Const. Cost	\$723,600
Unit Cost	\$225/SF

PROJECT DESCRIPTION

The One-Stop-Shop pulls together a range of services in one location to streamline the entire enrollment process. The space serves as a welcome center and creates a positive first impression for students and families.

Interior renovations to the main entrance will include a reception desk where staff are trained to answer common questions and provide directions. The space will be open and comfortable with good lighting and sight lines. The space includes a waiting area, offices for support staff, and small breakout conference rooms to support a variety of needs.



MAIN CAMPUS

MASTER PLAN PROJECTS

L - Secondary Entrance Addition



PROJECT L

Secondary Entrance Addition

Quantity	2,600 SF
Const. Cost	\$780,000
Unit Cost	\$300/SF

PROJECT DESCRIPTION

A secondary new canopy on the west side of the Math Building will help students, faculty, and staff with wayfinding to access programs on the north side of the main building.

The canopy will provide protection from the elements by covering the existing exterior stair, building access point and sidewalk. This is especially important when the exterior stairs are not usable due to ice.



MAIN CAMPUS

MASTER PLAN PROJECTS

M - Upgraded Pond and Adjacent Landscaping



PROJECT M

Upgraded Pond and Adjacent Landscaping

Quantity	2 Acres
Const. Cost	\$2,759,065
Unit Cost	\$5,972/SF

PROJECT DESCRIPTION

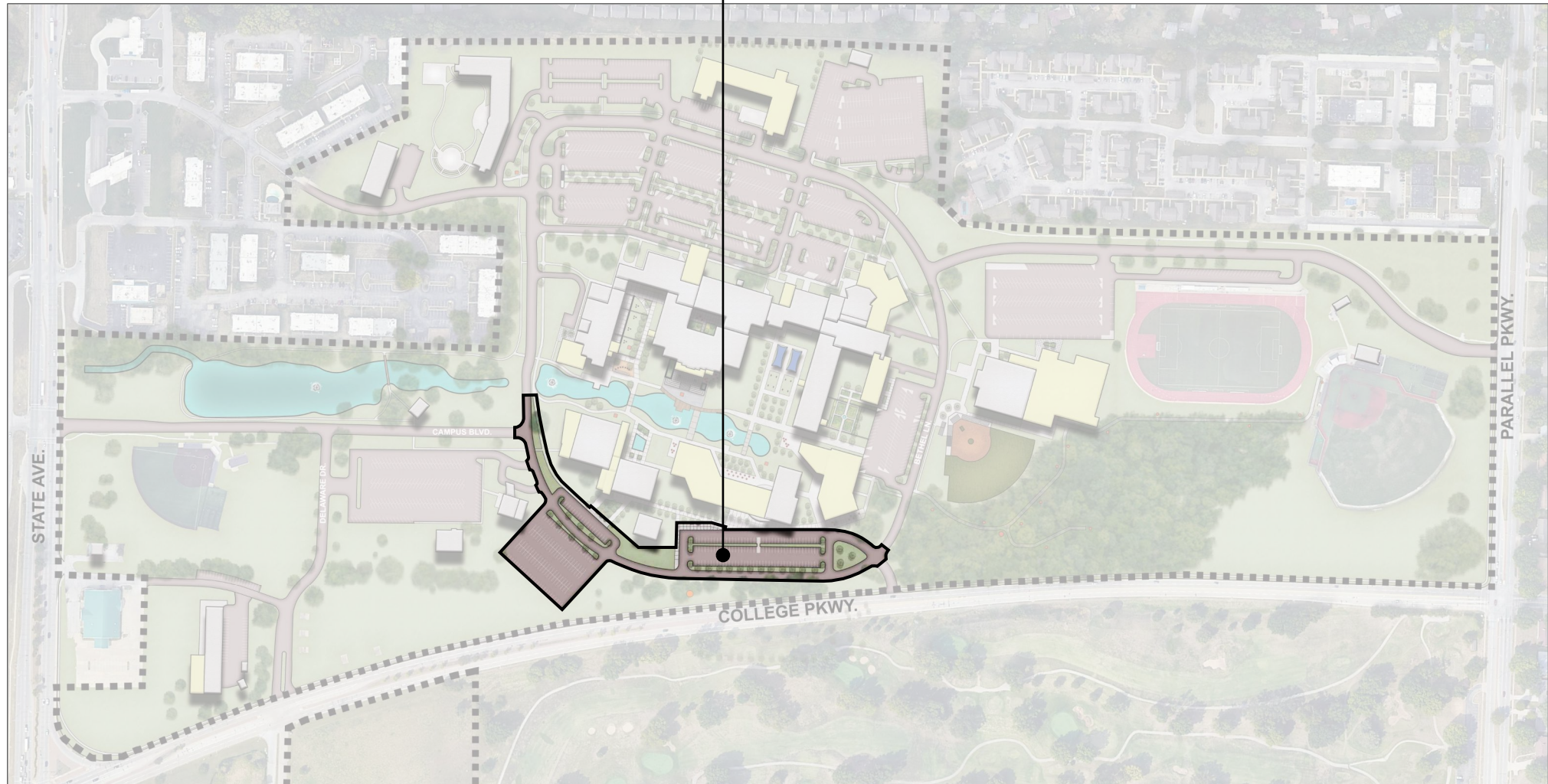
Increasing the water retention in the detention areas at the center of campus to make a pond will create a beautiful amenity to add scenic beauty to the campus while maintaining its stormwater management function.

This project includes reinforcement of the bank, addition of three fountains and three pedestrian walkways (with options for earthen or free span bridges), controls for stormwater management, and a plaza adjacent to the front of Jewell. A planted edge will help to deter the goose population.



MAIN CAMPUS

MASTER PLAN PROJECTS



PROJECT N

Modifications to East Ring Road

Quantity	1,875 LF
Const. Cost	\$2,527,691
Unit Cost	\$1,361/LF

PROJECT DESCRIPTION

The East Ring Road improvement project will allow greater vehicular access to the east side of the campus, which will support the Event Center, Student Union and Early College Programs.

The ring road project creates a connection to the east side of campus while traveling north on Campus Boulevard. The east side realignment starts at the Learning Commons and ends with the parking lot in front of the Continuing Education Building. This includes the demolition of the existing parking lots and provides a new lot across from the existing Health Professions Building, renovation of the parking lot in front of the Continuing Education Building, and provides new sidewalks and landscaping adjacent to the road.



MAIN CAMPUS

MASTER PLAN PROJECTS



PROJECT 0

Right-in / Right-out Connection to College Blvd.

Quantity	92 LF
Const. Cost	\$125,185
Unit Cost	\$1,361/LF

PROJECT DESCRIPTION

Creation of a new right-in/right-out turn off from College Blvd. on the east to the Continuing Education parking lot. This will provide more direct vehicular access to the future Student Union, Dining Facility and Event Center.



MAIN CAMPUS

MASTER PLAN PROJECTS



PROJECT P

Modifications to North Ring Road

Quantity	1,090 LF
Const. Cost	\$962,581
Unit Cost	\$883/LF

PROJECT DESCRIPTION

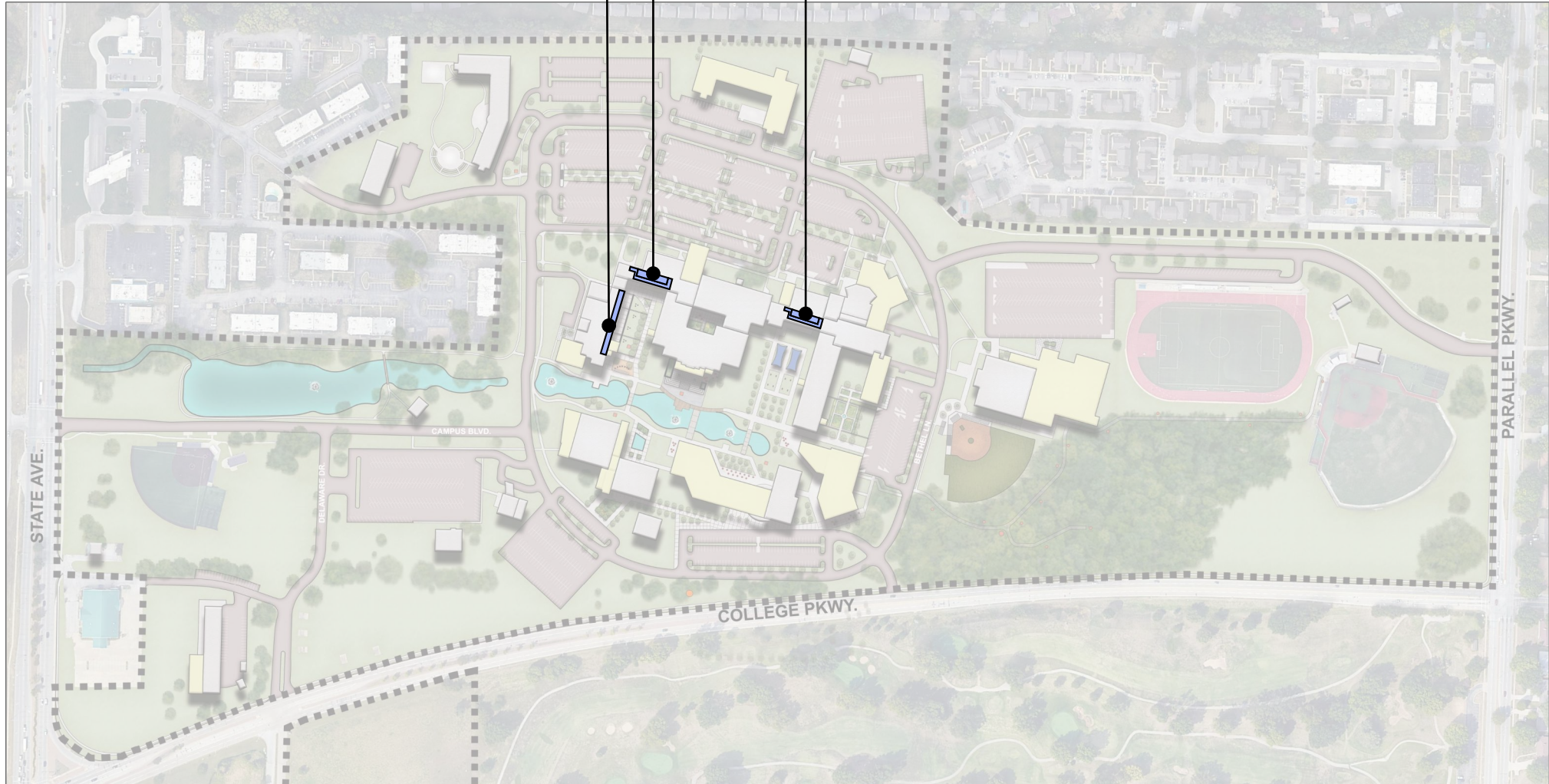
The North Ring Road improvement project will allow greater vehicular access from the north to the east side of the campus, and create a campus loop road.

This project alters the alignment of the northwest side of the ring road where it intersects with Campus Boulevard adjacent to the Fieldhouse and the Performing Arts Center. Campus Boulevard would be modified to tee into the ring road. The improvements would include new sidewalks with adjacent parking lots needing modifications including the demolition of the existing roads.



MAIN CAMPUS

MASTER PLAN PROJECTS



PROJECT Q1, Q2 + Q3

Office + Corridor conversion

Quantity	Q1 - 2,900 SF	Q2 - 3,300 SF	Q3 - 5,970 SF
Const. Cost	Q1 - \$652,500	Q2 - \$742,500	Q3 - \$1,343,250
Unit Cost	\$225/SF		

PROJECT DESCRIPTION

Updating corridors within the main campus building to create a greater sense of community and promote connections between students and faculty. A focus would be to enhance natural light which promotes improved learning and outcomes among students, and better sightlines to increase safety.

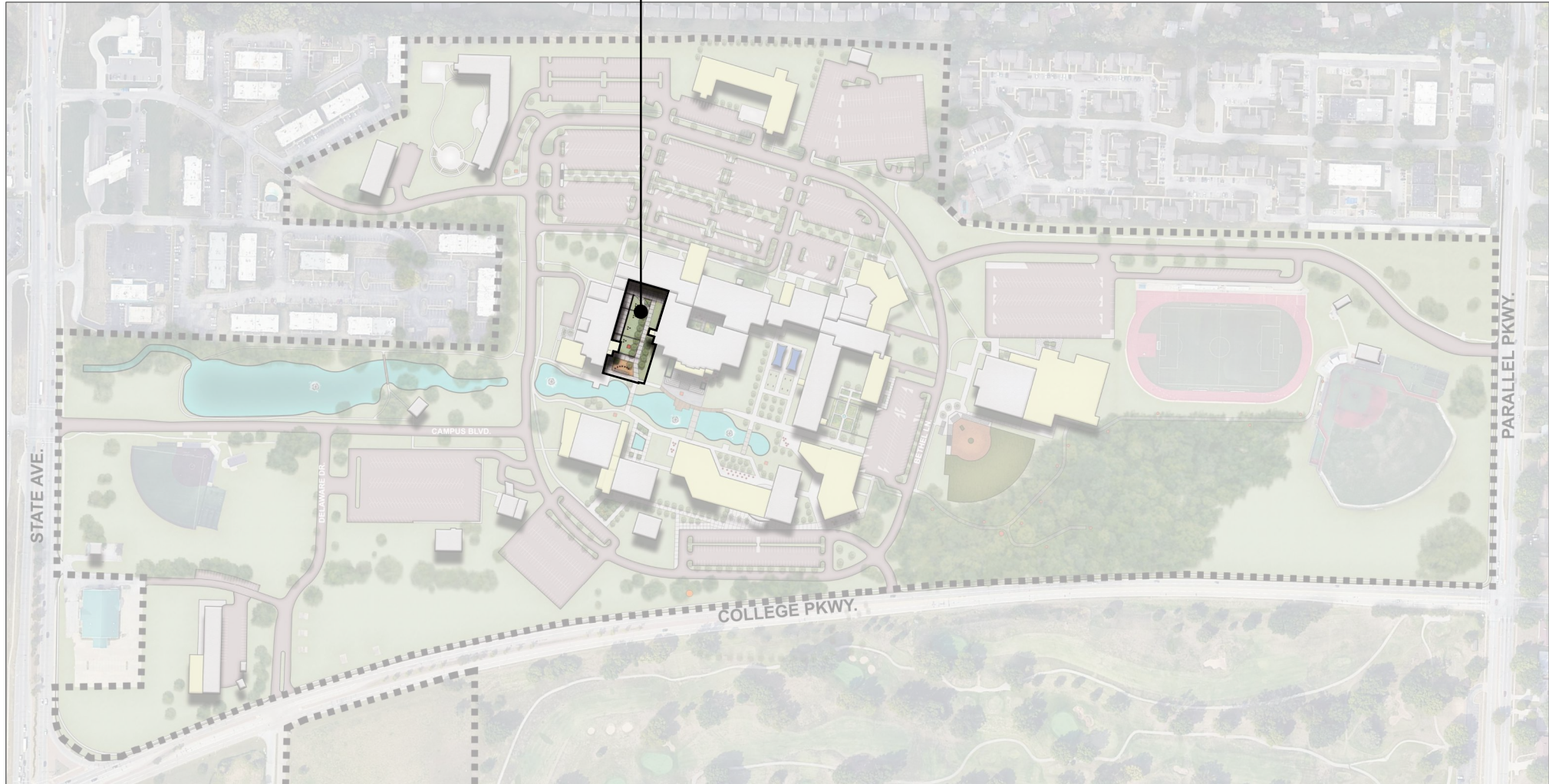
Interior renovations along the lower-level corridors will improve the experience by moving the circulation to the exterior wall and while bringing light and views into the office spaces. The exterior windows will have floor to ceiling glazing with an integral bench for community style seating. The relocated offices will have glazed wall facing the corridor and windows.



MAIN CAMPUS

MASTER PLAN PROJECTS

R - South Courtyard Improvements



PROJECT R

South Courtyard Improvements

Quantity 1 Acre
Const. Cost \$1,201,477
Unit Cost \$1,308,409/Acre

PROJECT DESCRIPTION

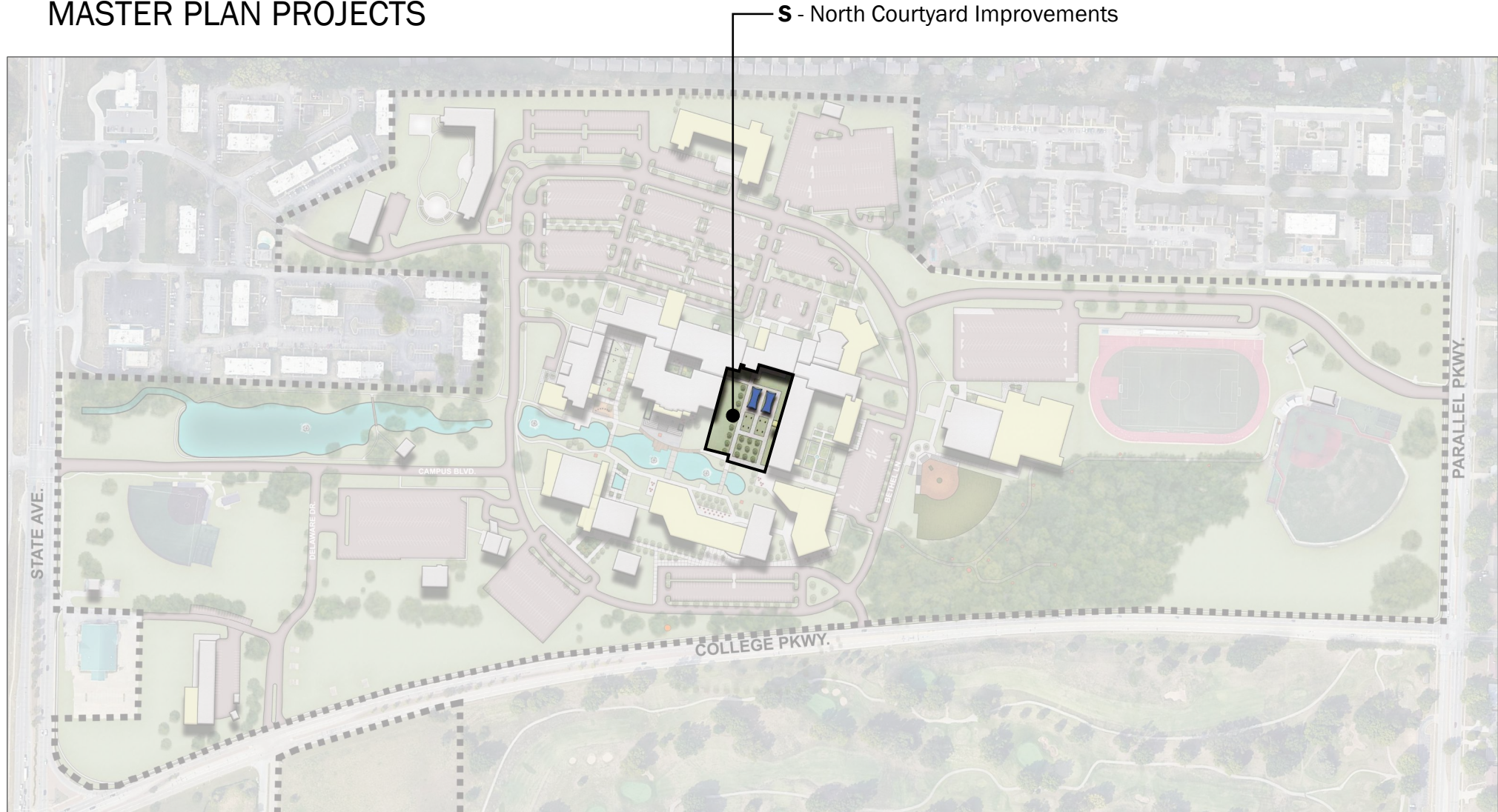
Improving the student experience encourages them to stay on campus. The outdoor amenity spaces improve engagement and can be used as outdoor instructional space.

Creating a new exterior courtyard experience by providing new sidewalks, landscaping, gas firepit, and seating areas outside of the student lounge, The Watering Hole. The new sidewalk leading to the Watering Hole will accommodate access to the mechanical room located adjacent to the exterior plaza. This project will include demolishing the existing sidewalks.



MAIN CAMPUS

MASTER PLAN PROJECTS



PROJECT S

North Courtyard Improvements

Quantity	1 Acres
Const. Cost	\$885,098
Unit Cost	\$642,581/Acre

PROJECT DESCRIPTION

Providing outdoor convening spaces for studying and classwork that promote student collaboration and foster engagement.

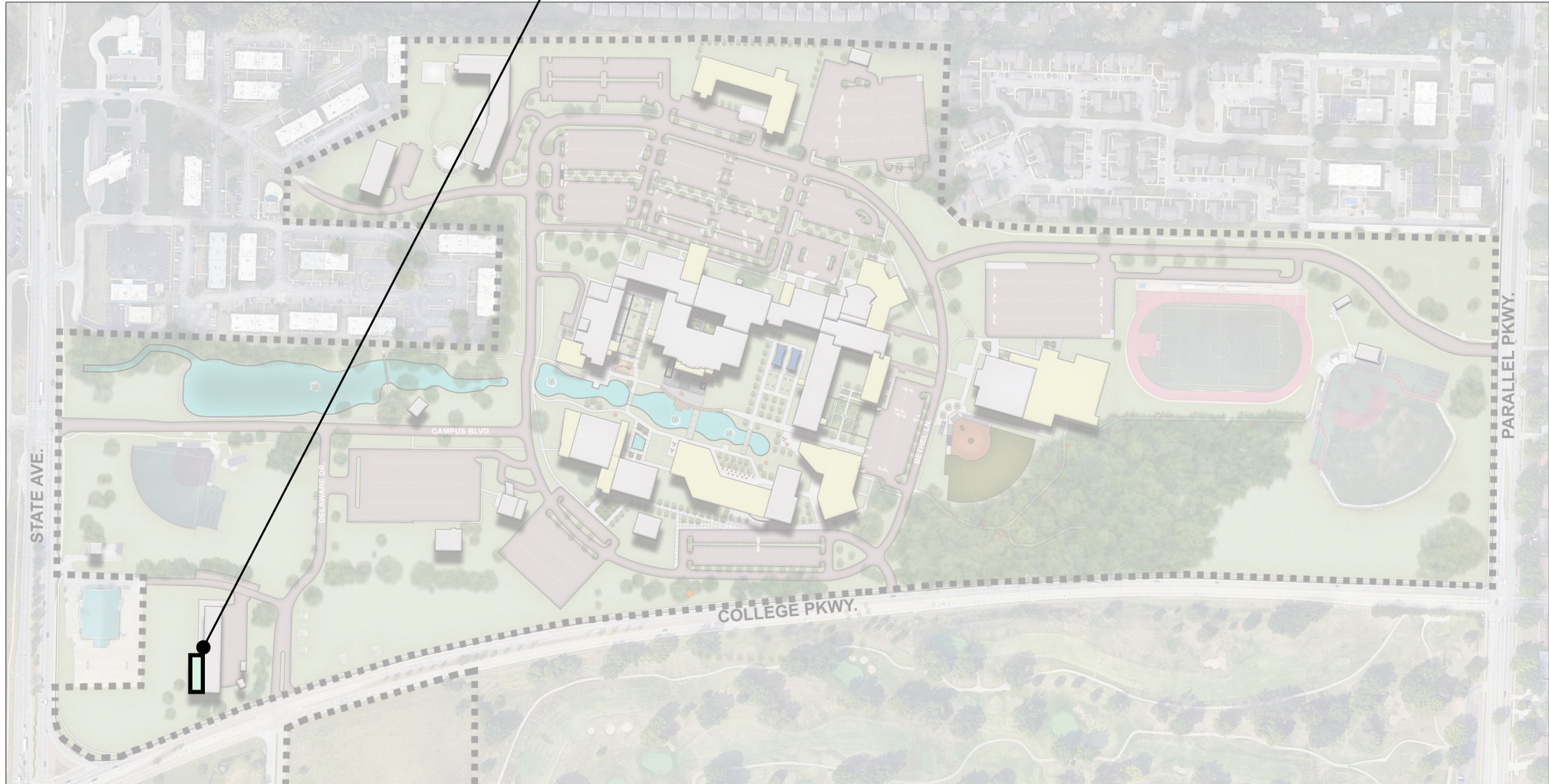
The upgraded courtyard experience will have new sidewalks, landscaping, outdoor fabric shade structures for seating areas, and space for outdoor lawns games. The sidewalk connecting to the courtyard will be designed to accommodate vehicular traffic to access adjacent mechanical rooms. The existing courtyard sidewalks will be demolished as part of the project.



MAIN CAMPUS

MASTER PLAN PROJECTS

T - Maintenance Building Addition



PROJECT T

Maintenance Building Addition

Quantity	5,000 SF
Const. Cost	\$1,125,000
Unit Cost	\$225/SF

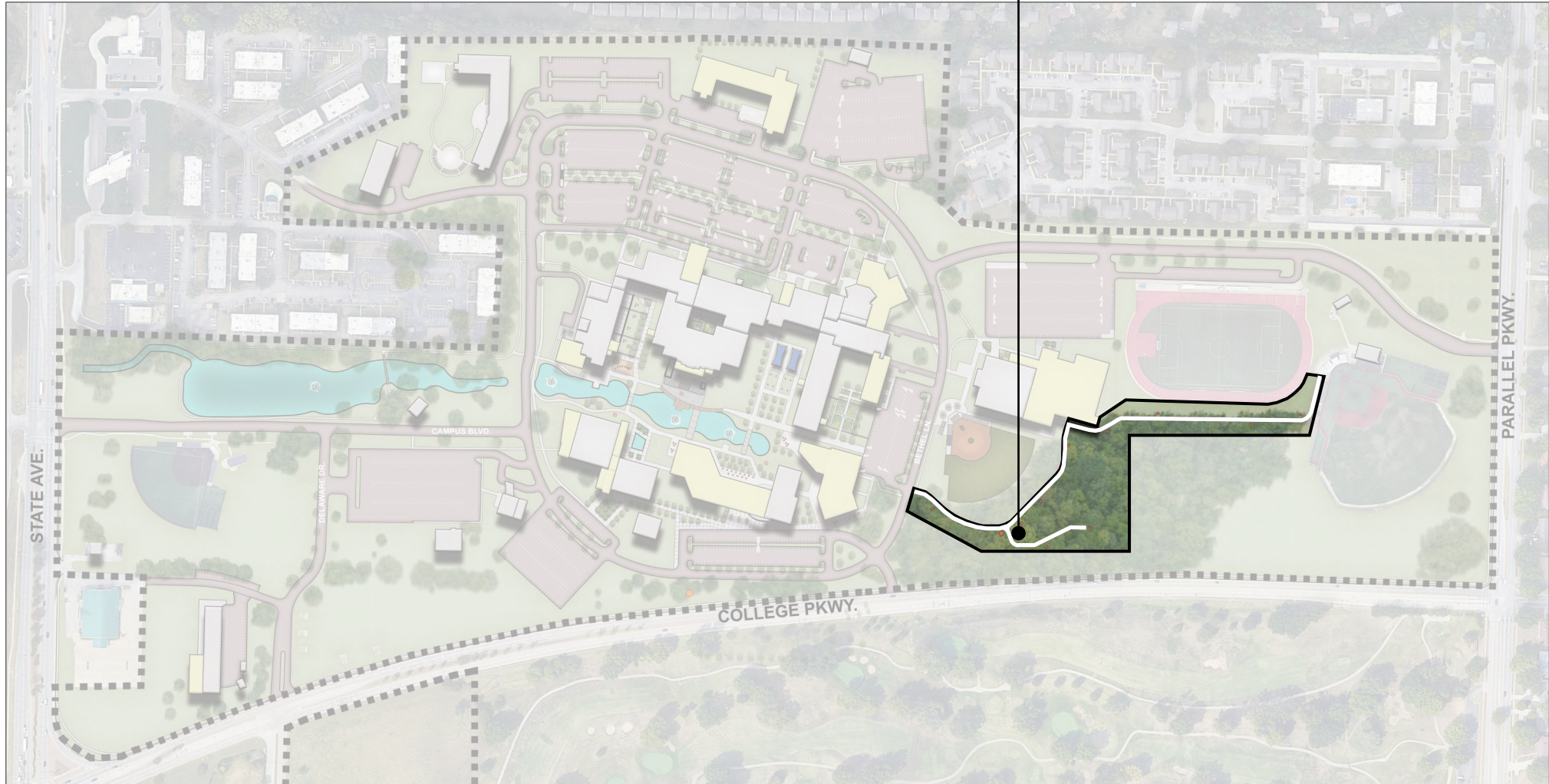
PROJECT DESCRIPTION

An addition to the west side of the existing maintenance building to provide space for additional workshop and storage space. Landscaping will be added to screen the building from the campus entrance.



MAIN CAMPUS

MASTER PLAN PROJECTS



PROJECT U

Modified + Enhanced Trail (with opportunities for art integration)

Quantity	1,875 LF
Const. Cost	\$217,500
Unit Cost	\$116/SF

PROJECT DESCRIPTION

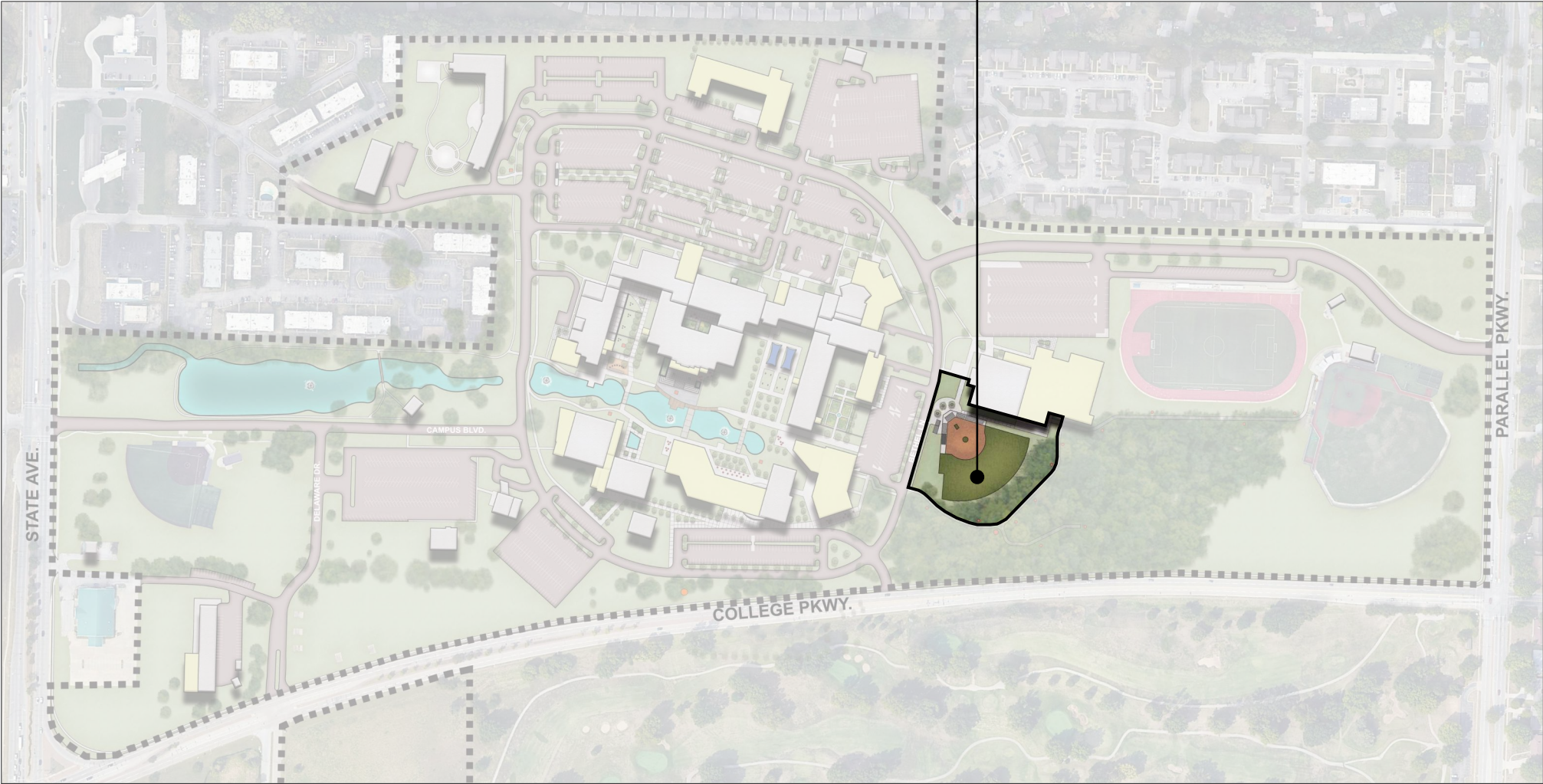
The improved trail system is an extension of the Upgraded Pond and Landscaping in the heart of campus and will provide increased accessibility to the wooded area on the north side of campus. The trails will allow students, faculty, staff and the community to experience this natural setting enhanced with artwork. The project will create an enjoyable and safe pedestrian link to the baseball field to the north and provide a better experience than walking through the parking lots.

Upgrading the trail head into the wooded area with an asphalt sidewalk adjacent to the relocated softball field and continuing north with a pedestrian path which connects to the existing baseball field.



MAIN CAMPUS

MASTER PLAN PROJECTS



PROJECT V

Relocated Softball field + Plaza with
Concessions and Bathrooms + Sidewalks

Quantity	1 NSF
Const. Cost	\$2,794,500
Unit Cost	\$2,794,500

PROJECT DESCRIPTION

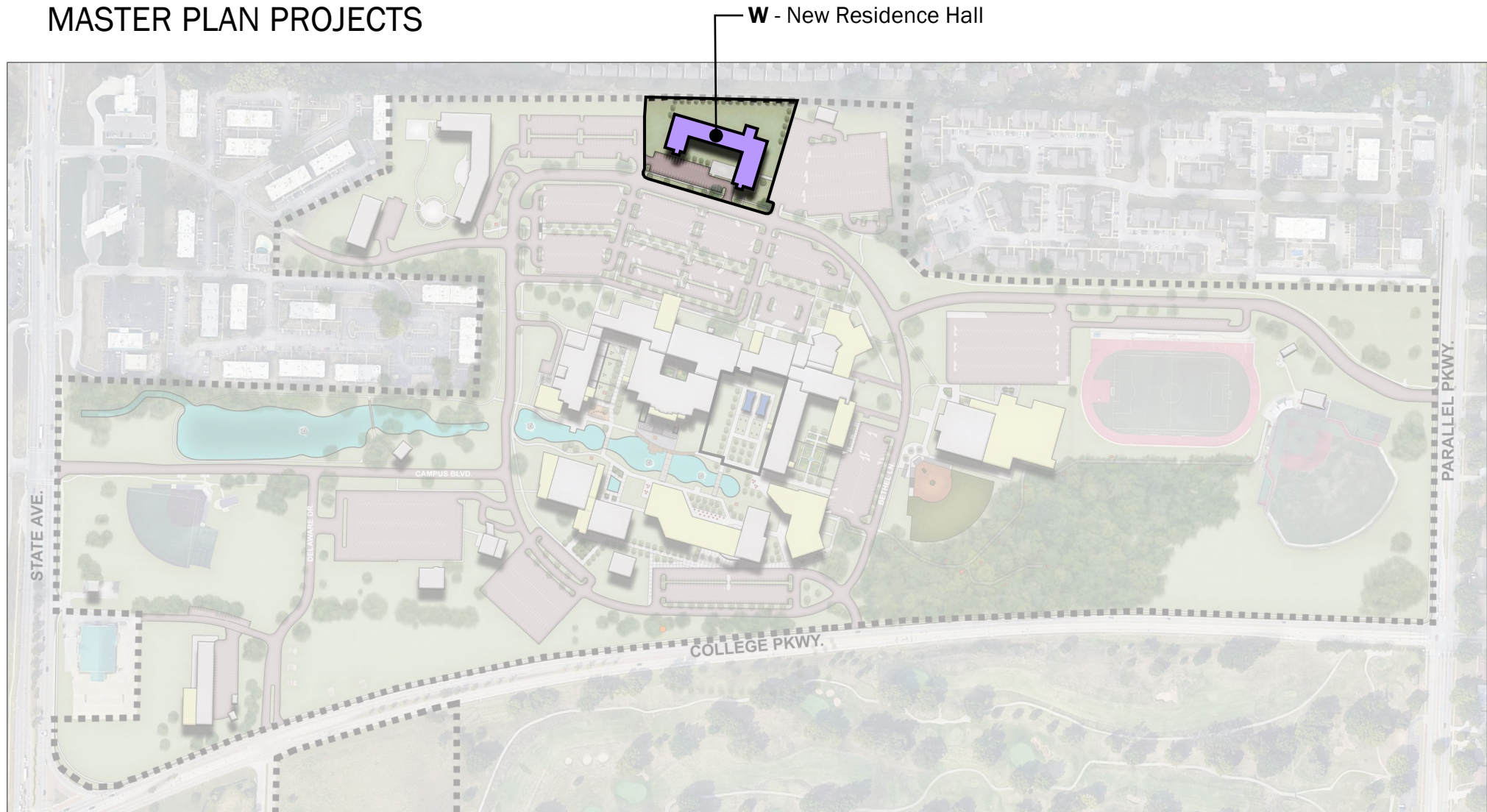
Relocating the softball field adjacent to the Field House will make it easier for student athletes to utilize the locker rooms in the Field House and reinforces the athletic district.

This project includes bathrooms, concessions, bleachers, lights, dugouts, fencing, restrooms, practice pitching lanes, batting cages and associated site work.



MAIN CAMPUS

MASTER PLAN PROJECTS



PROJECT W

New Residence Hall

Quantity	108,000 SF
Const. Cost	\$38,100,000
Unit Cost	\$353/SF

PROJECT DESCRIPTION

Providing additional student housing will allow more students to live on campus and will accommodate the growing number of students who desire a more traditional residential academic experience.

A new residence hall will include an entry plaza, small parking lot, and courtyard along with a tree defined lawn to the west. The building will be similar to Centennial Hall, 5-stories with structural steel construction and a metal panel envelope. This will require the demolition of the existing parking lot.



MAIN CAMPUS

MASTER PLAN PROJECTS

