



110 Armour Rd
North Kansas City, MO 64116
p. 816.300.4101
wskfarch.com

ADDENDUM

Addendum No.: **TWO (002)**
Project: KCKCC Field House Addition

Project No.: 22060A
Date: October 23, 2023

This Addendum is issued to all registered plan holders pursuant to the Instructions to Bidders and Conditions of the Contract. This Addendum serves to clarify, revise, and supersede information in the Project Manual, Drawings, and previously issued Addenda. Portions of the Addendum affecting the Contract Documents will be incorporated into the Contract by enumeration of the Addendum in the Owner/Contractor Agreement.

The Bidder shall acknowledge receipt of this Addendum in the appropriate space on the Bid Form.

1. SPECIFICATIONS

A. SECTION 004323 – ALTERNATES FORM

- i. Added Alternate No. Three – RTU Screen Thermal Break

B. SECTION 012300 – ALTERNATES

- i. Added Alternate No. Three – RTU Screen Thermal Break

C. SECTION 095100 – Acoustical Ceilings

- i. Revise 2.02 Acoustical Units, B.3 to read, "*Noise Reduction Coefficient (NRC): ~~0.90~~ **0.85** when tested in accordance with ASTM C423 using ~~G-20~~ **C-40** installation method.*"

D. SECTION 237416 – ROOFTOP HEATING/COOLING UNITS (3-20 TON)

- i. Revise specification section, 2.1, B to remove, "Equivalents must be approved by owner prior to bid."
- ii. Add Captive Aire to the list of approved manufacturers.

2. DRAWINGS

A. 2009 KCKCC Field House Addition As-Built Architectural Drawings (for reference)

- i. As-Built of the current weight room are included here for reference. Please note on Sheet SP1.01 the electrical conduit that runs under that portion of the building and under the corner of the new addition. An approximate height of that conduit is included on the sheet.

B. Sheet A1.01 – Floor Plan & Reflected Ceiling Plan

- i. A10 – Reflected Ceiling Plan
 - 1. Add Key Note 13 at entry into fitness room. Key Note 13 to read: Remove/modify/replace existing drop ceiling tile and grid as required to remove the overhead coiling door as shown on Sheet D1.01 – Demo Plans.

C. Structural Sheets – General Comment

- i. 18" of low volume change material should be provided below the 4" concrete slab and 4" drainage fill per the plan note on 1/S1.01. References to "per Geotech report" should be removed from sections 3/S1.01 and 4/S1.01 and replaced with "per plan".

D. Sheet S2.02 – Sections

- i. Revised Section 4 of the RTU Screen to show Alternate #3 design. Refer to attached sketch sheet.

3. GENERAL CLARIFICATIONS

- A. Key Notes 9, 10, & 11 on Sheet SP1.01 provide information on regrading around the building. The design team did not calculate fill/removal from the site so grading contractors need to take a look at the site and confirm what will be needed for this scope of work. See the meeting notes from the Pre-Bid Conference for more information.
- B. Question: Are there any wage rates or Davis Bacon requirements on this project?
 - i. Answer: No.
- C. Question: Some of the details in the structural plans state that there should be some low volume change material per the Geotech report (see details 3 and 4 on S1.01). However, no Geotech report has been received. Please advise on the Geotech report OR provide direction on the low volume change material.
 - i. Answer: 18" of low volume change material should be provided below the 4" concrete slab and 4" drainage fill per the plan note on 1/S1.01. References to "per Geotech report" should be removed from sections 3/S1.01 and 4/S1.01 and replaced with "per plan".

4. APPROVED EQUALS

NOTE: Adding a product/manufacture to the approved equals list does not remove the product's responsibility in meeting the specification. All products MUST meet specification.

A. SECTION 072500 – WEATHER BARRIERS

- i. Carlisle Coating & Waterproofing (CCW) Barritech VP and associated accessories to create a complete system.

B. SECTION 237416 – ROOFTOP HEATING/COOLING UNITS (3-20 TON)

- i. Captive Aire

ATTACHMENTS:

DRAWINGS:

2009 KCKCC Field House Addition As-Built Architectural Drawings (for reference) (8 pages)
A1.01 – Floor Plan & Reflected Ceiling Plan
S2.02 – Section 4 Sketch Sheet

Project Name: KCKCC Field House Addition
Project No.: 22060A

Addendum No. Two (002)

SPECIFICATIONS:

004323 – Alternates Form
12300 – Alternates

OTHER DOCUMENTS:

Pre-Bid Meeting Notes
Pre-Bid Sign-In Sheet

KCKCC FIELD HOUSE ADDITION

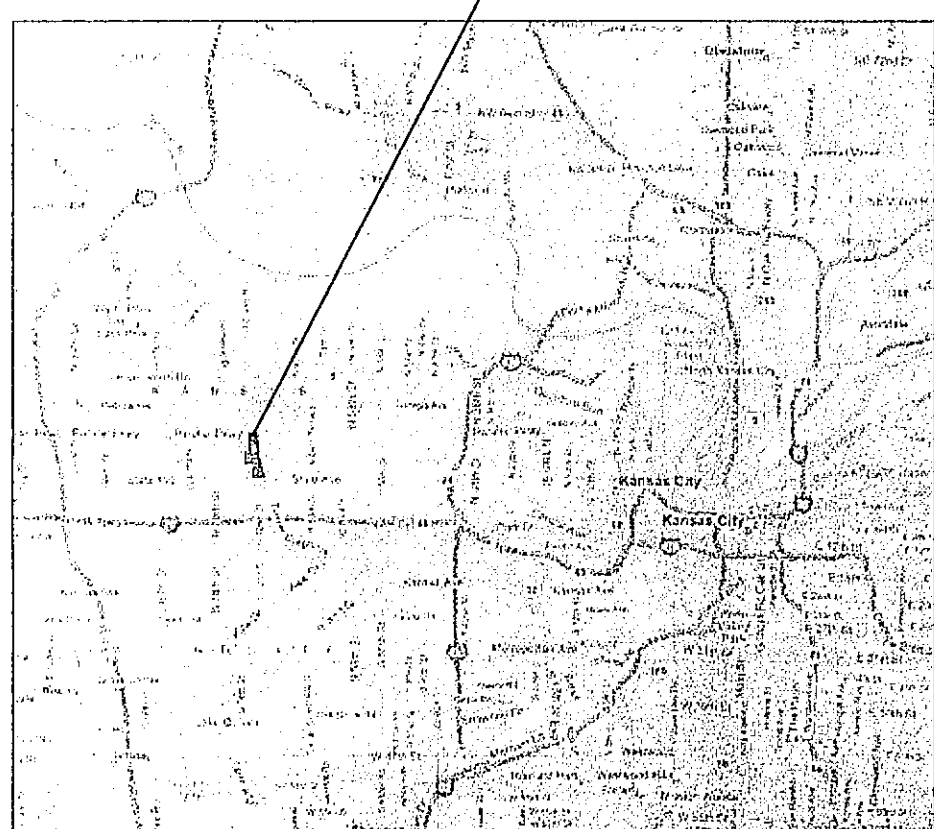
7250 STATE AVENUE
KANSAS CITY, KS 66112

AS-BUILT PLANS
KCKCC FIELD HOUSE ADDITION
BY: ED MOORE CONSTRUCTION
(913) 856-2300

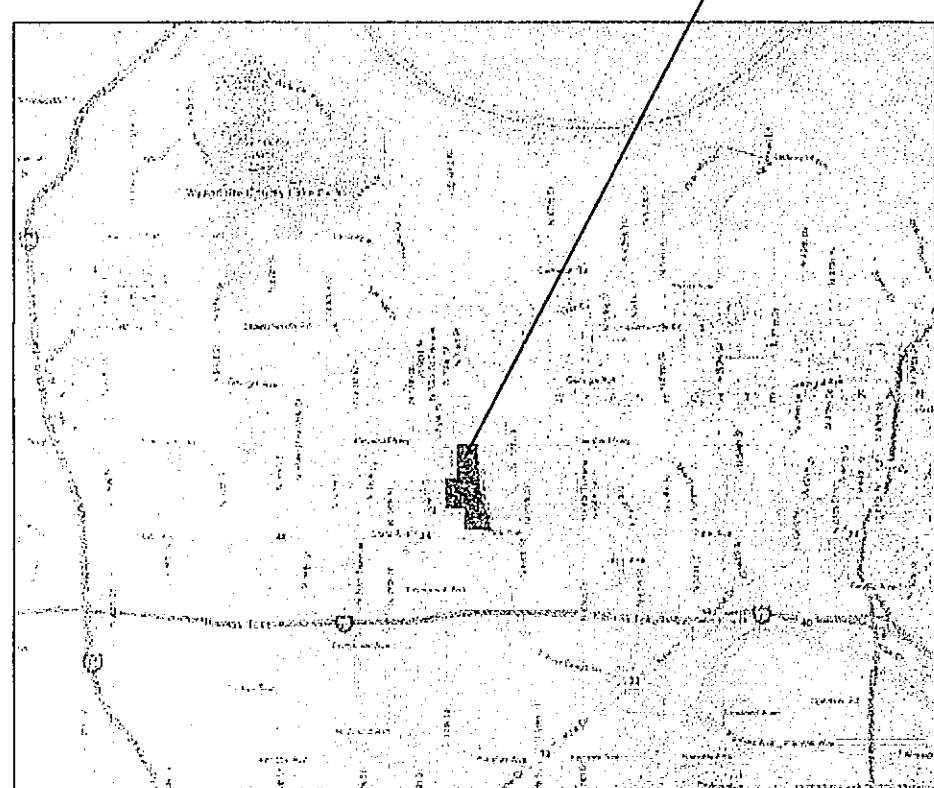
ISSUE DATE: 08/28/09

Vicinity Map / Location Plan

Vicinity Map



Location Map



Symbols

- Detail Number
Building Section
Sheet Number
- Detail Number
Detail Section
Sheet Number
- Door Number
- Wall Type
- Window Designation
- Keynote Designation
- Color Designation
Re: Color Schedule
- Spot Elevation
- Revision Symbol
- Detail Number
Detail Designation
Sheet Number
- Elevation Marker
Detail Number
Sheet Number

CODE REVIEW

DESIGN CODES/REGULATIONS
2003 INTERNATIONAL BUILDING CODE
2003 INTERNATIONAL MECHANICAL CODE
2003 UNIFORM PLUMBING CODE
2002 NATIONAL ELECTRIC CODE
2003 INTERNATIONAL FIRE CODE

CONSTRUCTION TYPE

TYPE: II-B

OCCUPANCY CLASSIFICATION

GROUP: S-2 (STORAGE)

BASEMENT: 11,520 SF

FIRST FLOOR: 28,240 SF

ORIGINAL BUILDING: 34,810 SF TOTAL

NEW ADDITION: 965 SF =

2.4% OF ORIG. BLDG.

BUILDING HEIGHT

IIR

ALLOWABLE: 2 STORY

ACTUAL: 1 STORY

BUILDING AREA

AREA S-2 ALLOWED: 26,000 S.F.

AREA S-2 ACTUAL: 965 S.F.

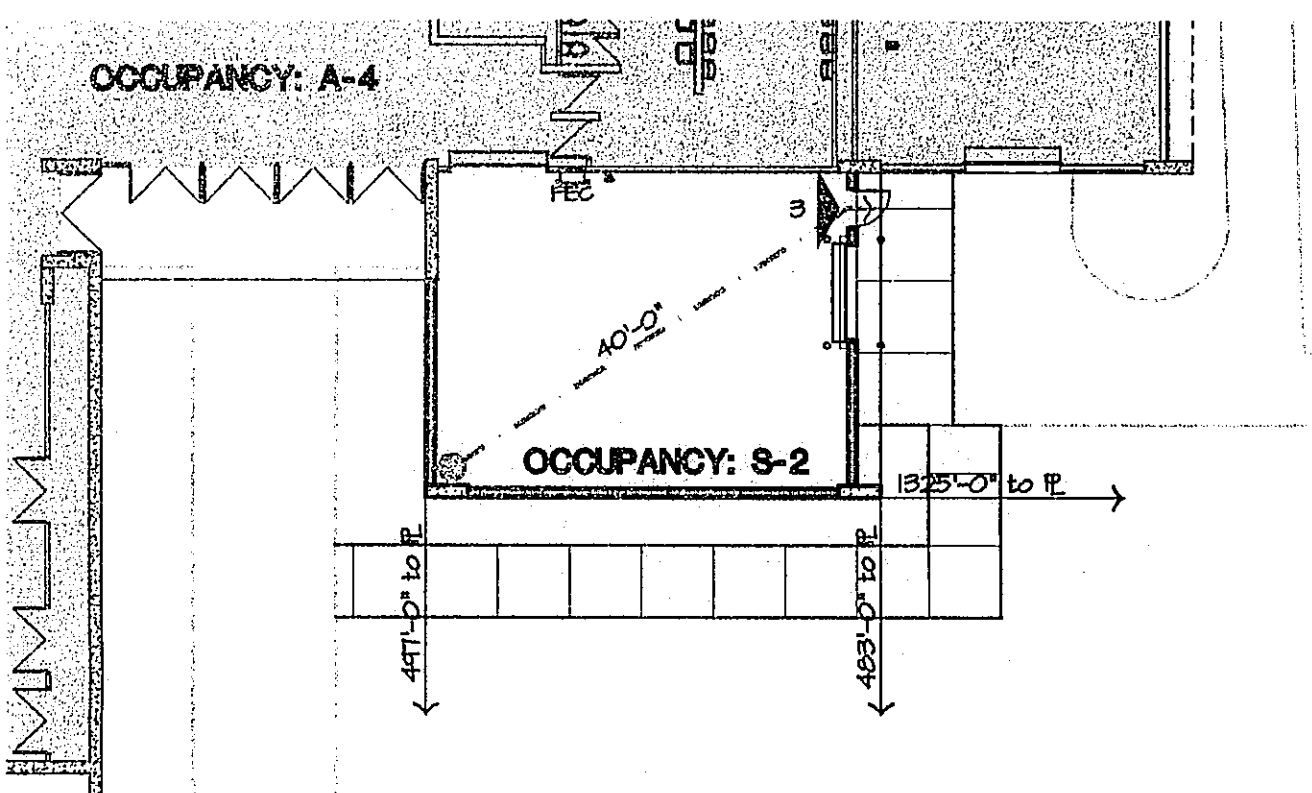
EGRESS REQUIREMENTS:

OCCUPANT LOAD	4
# OF EXITS REQUIRED	1 EXIT
# OF EXITS PROVIDED	1 EXIT TOTAL
MIN. EXIT WIDTH REQ.	4 x 0.2 = 0.8'
EXIT WIDTH PROVIDED	1 x 36" = 36"
MAX. TRAVEL DISTANCE ALLOWED	200' ALLOWED
MAX. TRAVEL DISTANCE CALC.	40' ACTUAL

LEGEND:

EXIT LOAD

- DIRECTION OF TRAVEL
- COMBINED OCCUPANCY LOAD
- OCCUPANCY SQ. FT.
NUMBER OF OCCUPANTS
OCCUPANT LOAD FACTOR
- MAX. EXIT TRAVEL DISTANCE
- START
- FIRE EXTINGUISHER CABINET



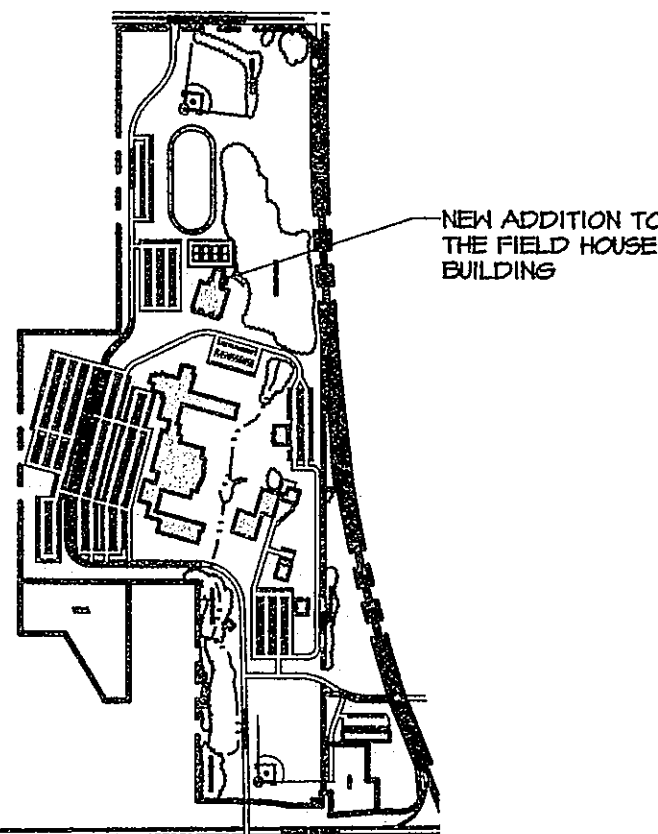
OCCUPANT CALCULATIONS:

STORAGE:	965	= 4
TOTAL OCCUPANCY:	300	
TOTAL OCCUPANCY:	4	

Drawing Index

- COVER
- DEMOLITION
- DEMOLITION PLAN
- SITE
- SITE PLAN AND DETAILS
- ARCHITECTURAL
- FLOOR PLAN & ROOF PLAN
- EXTERIOR ELEVATIONS & BUILDING SECTIONS
- WALL SECTIONS & DETAILS
- WALL SECTIONS & DETAILS
- REFLECTED CEILING PLAN/DOOR & FINISH SCHEDULES
- STRUCTURAL
- GENERAL NOTES & SECTIONS
- FOUNDATION & ROOF PLAN
- MECHANICAL/ELECTRICAL
- ELECTRICAL FLOOR PLAN

Campus Map



Williams
Spurgeon
Kuhl &
Freshnock
Architects, Inc.

Owner:
Kansas City Kansas
Community College

7250 State Avenue
Kansas City, KS 66112

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F 913.288.7609

Architect/Interior Design/
Landscape Design:
Williams, Spurgeon, Kuhl,
& Freshnock, Architects, Inc.

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N. Kansas City, MO 64118

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Structural Engineer:
Bob D. Campbell & Co.

4338 Bellevue
Kansas City, MO 64111

P 816.531.4144
F 816.531.8572

Mechanical/Electrical Engineer:
Pearson Kent McKinley
& Raaf Engineers, LLC.

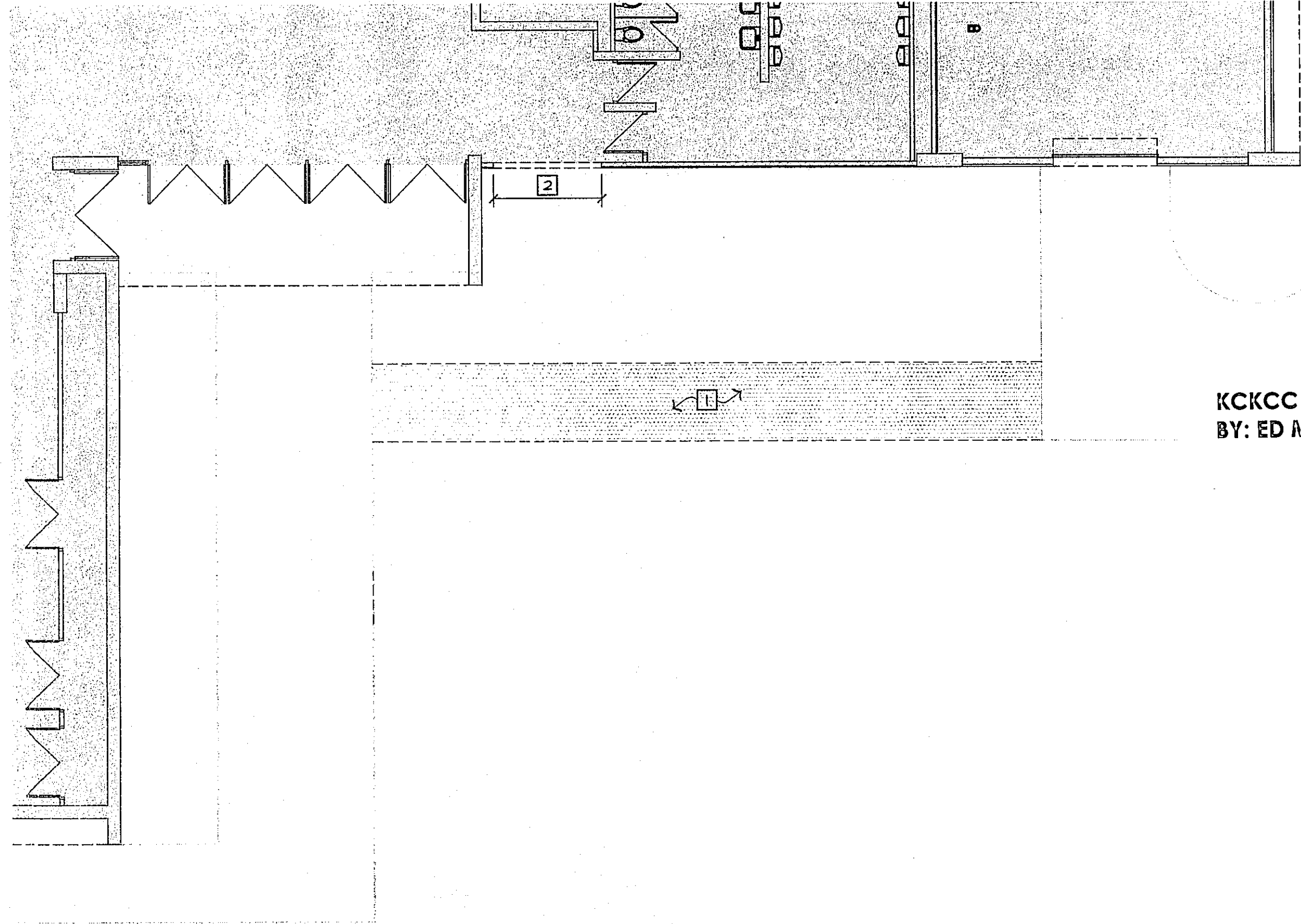
8801 Ballentine Suite 200
Overland Park, KS 66214

P 913.492.2400
F 913.492.2437

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10 1 9 1 8 1 7 1 6 1 5 1 4 1 3 1 2 1



D5 DEMOLITION PLAN
1/8" = 1'-0" xplan



GENERAL PLAN NOTES:

1. EXISTING CONDITIONS DRAWINGS WERE DEVELOPED FROM VISUAL OBSERVATIONS. NOT ALL CONDITIONS ARE DISCOVERABLE FROM SUCH OBSERVATIONS. ACTUAL CONDITIONS WHICH VARY FROM DRAWN CONDITIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR INFORMATION PURPOSES AND RESOLUTION AS NEEDED.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, ELEVATIONS, AND DETAILS SHOWN ON THE DRAWINGS. ANY DISCREPANCIES WHICH WILL PREVENT THE ACCOMPLISHMENT OF INTENT SHOWN ON DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
3. ALL DIMENSIONS ARE TO FACE OF STUD & BRICK OR CENTER OF STL. STRUCTURE, UNLESS NOTED OTHERWISE.
4. WHERE A CONDITION IS NOTED 'TYPICAL' (TYP) IT IS UNDERSTOOD THAT ALL SIMILAR CONDITIONS BE CONSTRUCTED OF THE SAME MATERIALS AND/OR DIMENSIONS.
5. REFER TO F9/A1.01 FOR EXISTING WALL TYPES.
6. REFER TO WALL SECTIONS FOR EXTERIOR WALL TYPES.
7. VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING WORK; NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
8. COORDINATE FLOOR AND ROOF PENETRATIONS W/ M.E.P. AND STRUCTURAL DRAWINGS.

KEY NOTES:

- 1 EXTENTS OF SIDEWALK DEMO
- 2 DEMO EXISTING FOR NEW COILING DOOR OPENING; RE: E5/A1.01 FOR EXACT SIZE AND LOCATION OF OPENING

AS-BUILT PLANS
KCKCC FIELD HOUSE ADDITION
BY: ED MOORE CONSTRUCTION
(913) 856-2300

JOB NUMBER
- 08117 -
ISSUE DATE
- 08 / 28 / 09 -
REVISIONS

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Kuhl & Freshnock
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KCKCC FIELD HOUSE ADDITION

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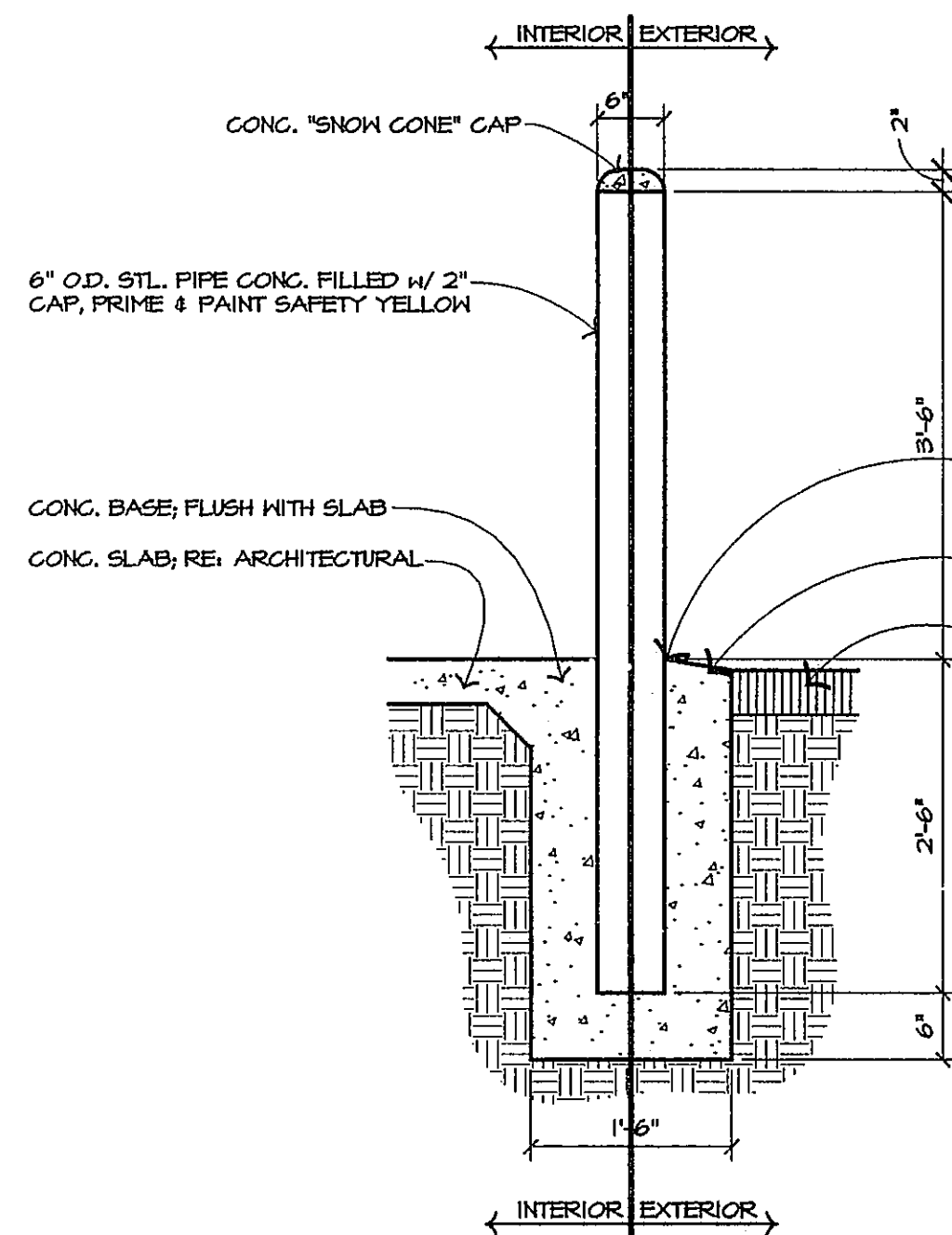
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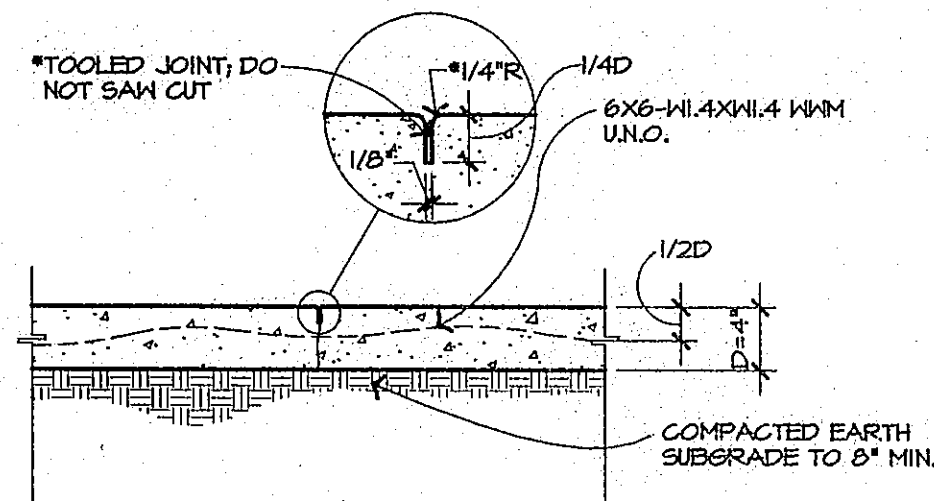
**DEMOLITION
PLAN**

D1.01

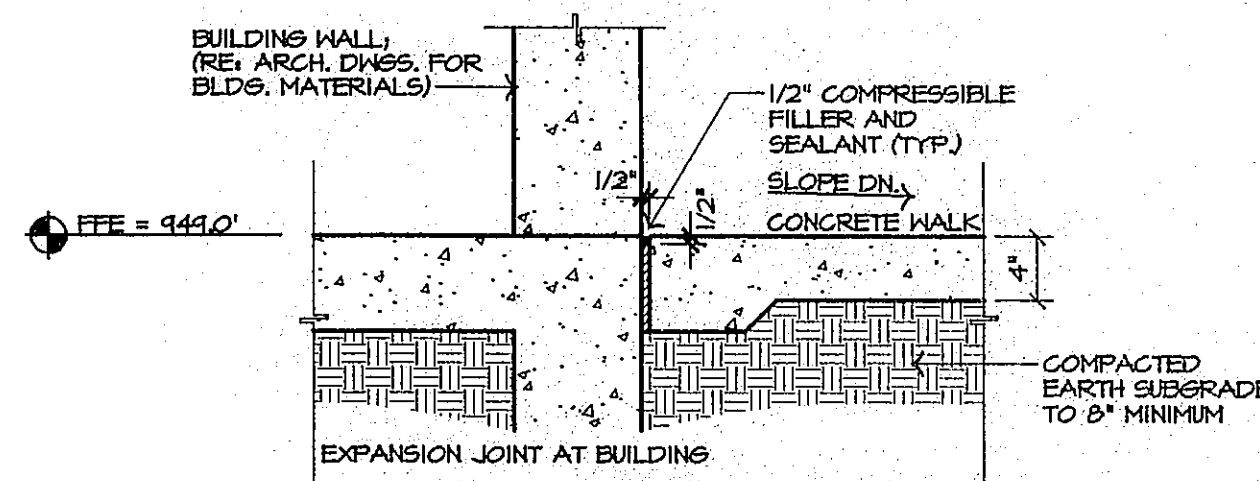
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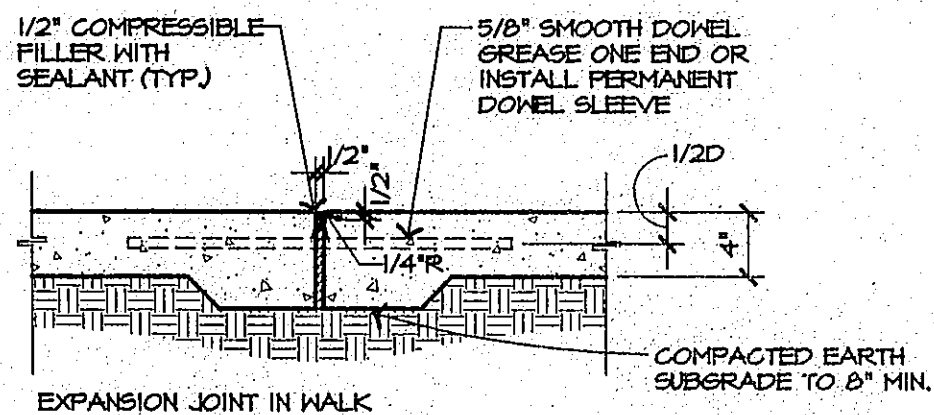
E9 BOLLARD
3/4"=1'-0" XBOLLARD



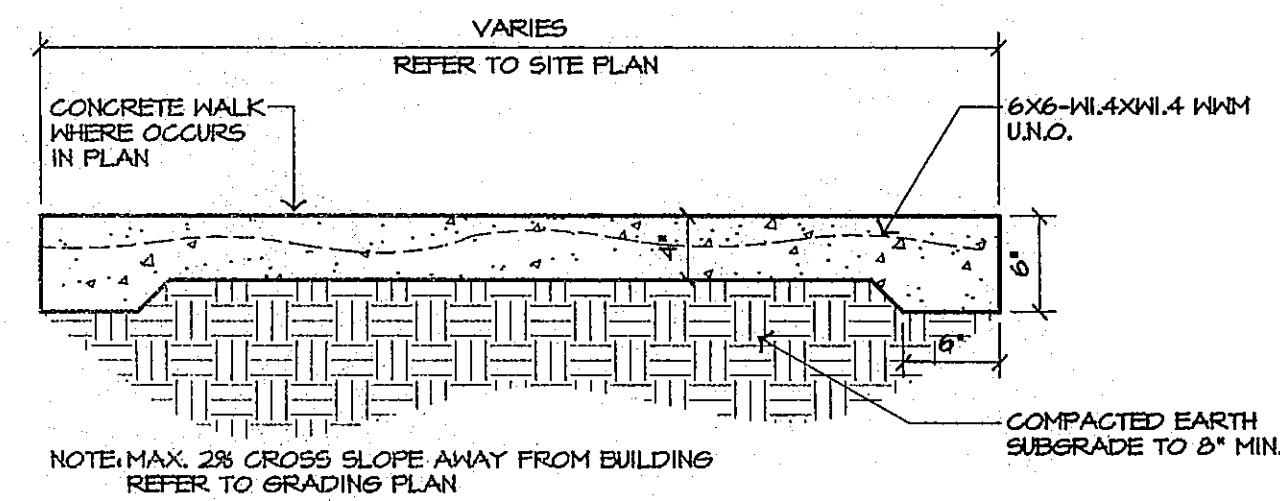
F7 TYP. CONTROL JOINT
1"=1'-0" XCONTROL-JT



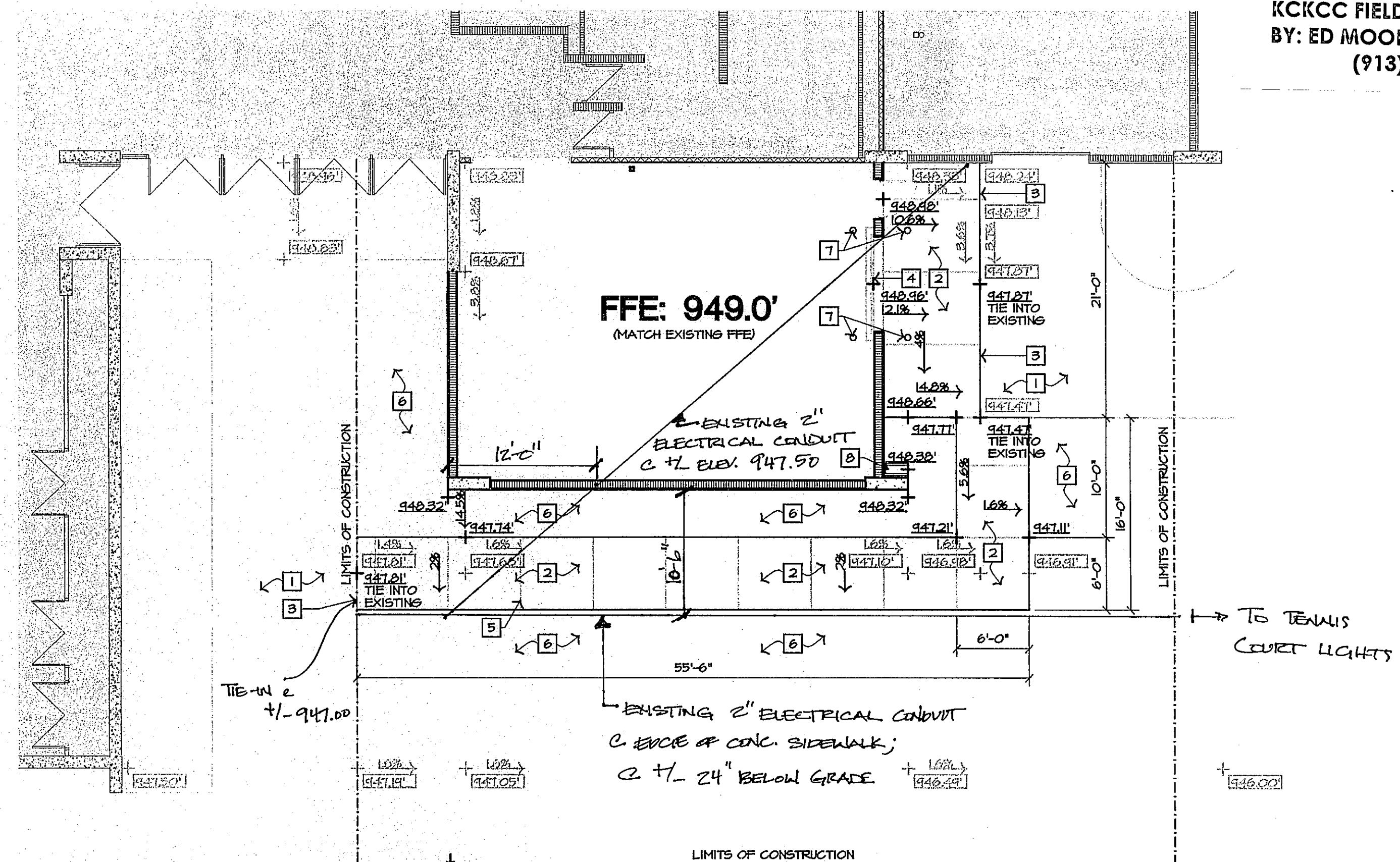
E7 TYP. EXPANSION JOINT AT BUILDING
1"=1'-0" XEXPANSION-JT



B7 TYP. EXPANSION JOINT IN WALK
1"=1'-0" XEXPANSION-JT



F5 4" CONC. WALK
1"=1'-0" XCONC-WALK



B5 GRADING PLAN
1/8" = 1'-0" XPLAN
PLAN NORTH

SITE PLAN KEY NOTES:

- EXISTING CONCRETE WALK TO REMAIN; PROTECT. ANY DAMAGE CAUSED BY CONSTRUCTION OPERATIONS SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AT NO COST TO OWNER.
- NEW 4" THICK CONCRETE WALK; RE: (F5/SP1.01)
- EXPANSION JOINT IN WALK TYP.; RE: (B7/SP1.01)
- EXPANSION JOINT AT BUILDING TYP.; RE: (E7/SP1.01)
- CONTROL JOINT TYP.; RE: (F7/SP1.01)
- AREA TO BE SEED, SEED ALL AREAS DISTURBED BY CONSTRUCTION OPERATIONS.
- NEW 6" CONCRETE BOLLARD; RE: (E9/SP1.01)
- TYP. 24" CONCRETE SPLASH BLOCK; RE: A2.01 & M2.01 FOR LOCATION AND DETAILS.

PLAN KEY:

- EXISTING ELEVATION TO REMAIN; VERIFY ELEVATION
- PROPOSED ELEVATION
- FINISHED FLOOR ELEVATION
- APPROXIMATE LIMITS OF CONSTRUCTION

GENERAL PLAN NOTES:

- THE GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADE ELEVATIONS PRIOR TO BEGINNING WORK. REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR FINISH GRADES AROUND STRUCTURES. PROVIDE FINISHED GRADE THAT ALLOWS FOR POSITIVE DRAINAGE AWAY FROM THE STRUCTURES AT A MINIMUM OF 2% SLOPES.
- CONSTRUCT ALL SIDEWALKS WITH 2% MAXIMUM CROSS SLOPE AWAY FROM THE STRUCTURES UNLESS OTHERWISE SHOWN ON THE PLANS.
- PLACE EXPANSION JOINT IN SIDEWALKS AT 50' MAXIMUM SPACING AT ALL DIRECTION CHANGES AND WHEN ADJACENT TO BUILDING, UNLESS OTHERWISE SHOWN ON THE PLANS.
- LAYOUT ALL SIDEWALKS AND PAVEMENT APPROXIMATE TO ALL LINES SHOWN FOR FINAL APPROVAL BY ARCHITECT PRIOR TO COMMENCEMENT OF SIDEWALK CONSTRUCTION OPERATIONS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO MATCH EXISTING ELEVATIONS WHERE SHOWN ON THE PLAN. TRANSITION BETWEEN ELEVATIONS IS TO BE SMOOTH AND UNIFORM. REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURE IN ACCORDANCE WITH THE CITY OF KANSAS CITY, KANSAS.
- APPROXIMATE LIMITS OF CONSTRUCTION LOCATION TO BE COORDINATED WITH OWNER. AS OWNER WILL NEED ACCESS TO PORTIONS OF THE SITE DURING CONSTRUCTION.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE RETURNED TO PRECONSTRUCTION CONDITIONS.

AS-BUILT PLANS
KCKCC FIELD HOUSE ADDITION
BY: ED MOORE CONSTRUCTION
(913) 856-2300

KCKCC FIELD HOUSE ADDITION

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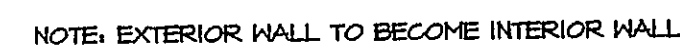
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SITE PLAN & DETAILS

SP1.01

JOB NUMBER
08117
ISSUE DATE
08/28/09
REVISIONS

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- 1 ROOF DRAIN; PIPE TO NEW NORTH EXTERIOR WALL AND DAYLIGHT ABOVE GRADE PER MEP SHEETS.
- 2 OVERFLOW DRAIN; PIPE TO NEW NORTH EXTERIOR WALL AND DAYLIGHT ABOVE GRADE PER MEP SHEETS. DRAIN TO BE 2" ABOVE ROOF DRAIN.
- 3 EXISTING ROOF



- 1 OWNER PROVIDED BASEBALL FLOOR
- 2 OWNER PROVIDED FLOOR COVERS
- 3 OWNER PROVIDED CHAIR RACK
- 4 OWNER PROVIDED GAME TABLE
- 5 EXTENDS OF NEW CONCRETE WALK
- 6 PLACE CONTROL JOINTS AT LOCATIONS WHERE CMU & CONCRETE MEET, TYP.

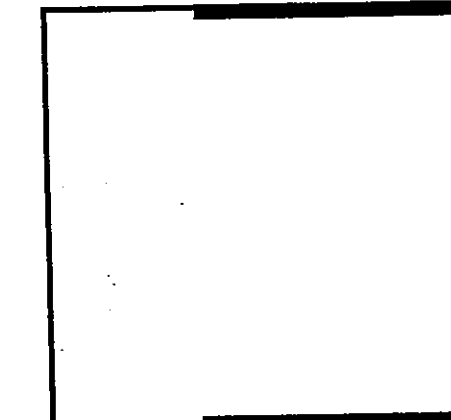
NOT IN CONTRACT; PROVIDED BY KCKCC

A1.01

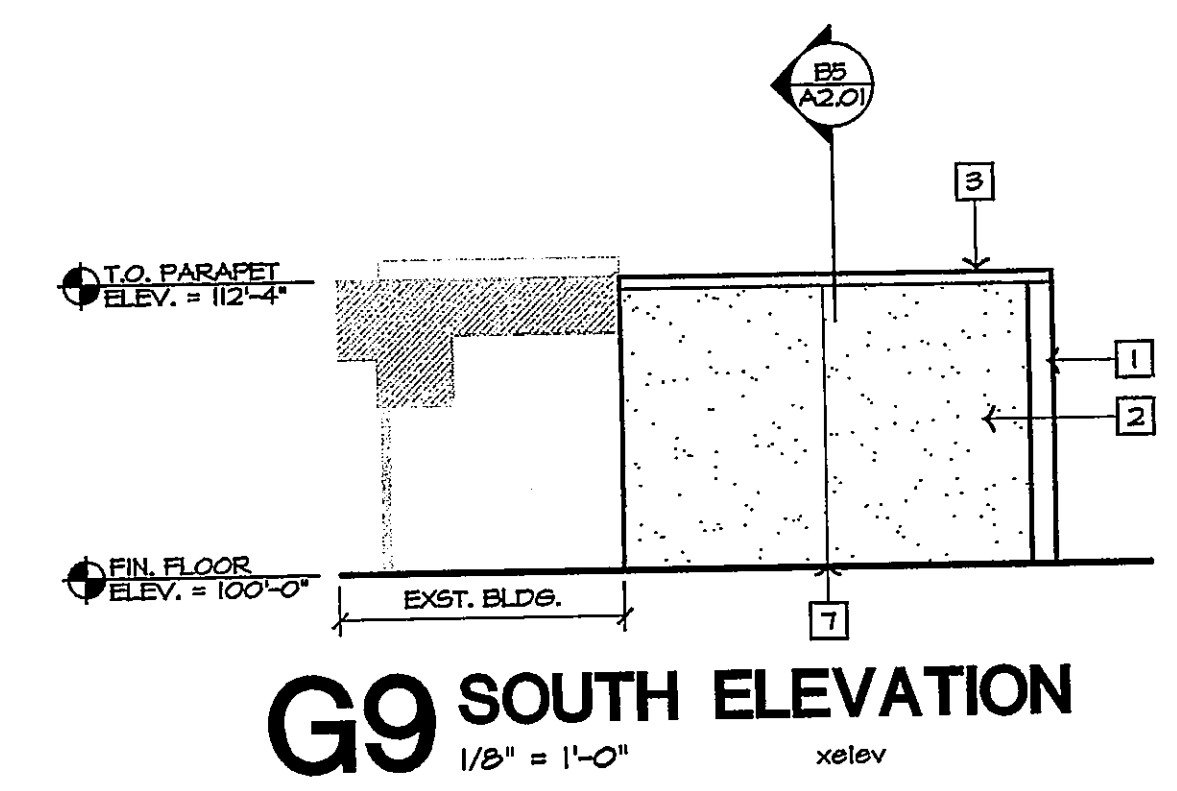
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ISSUE DATE	08/28/09
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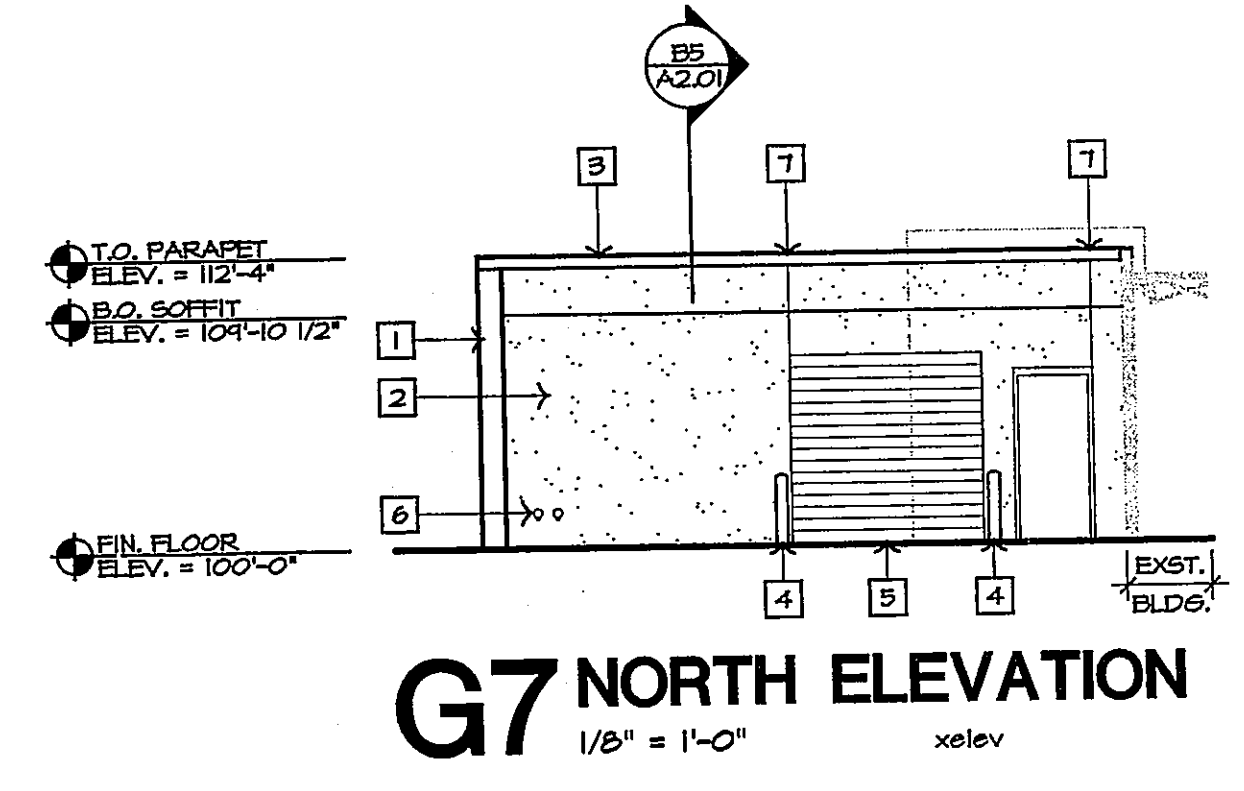
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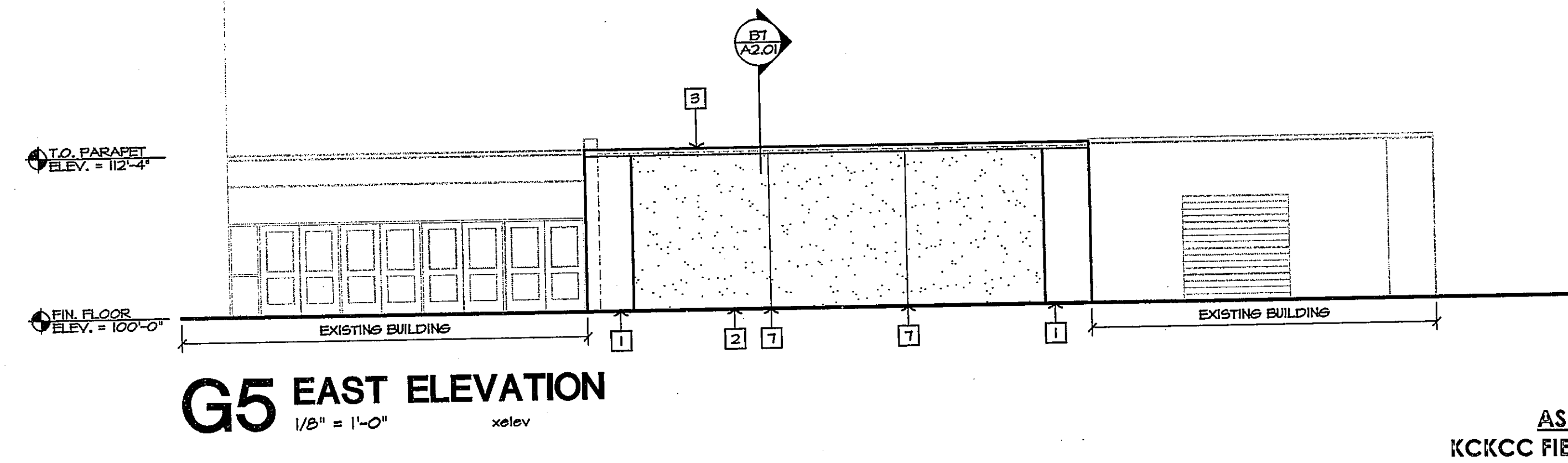
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G9 SOUTH ELEVATION
1/8" = 1'-0" xelev



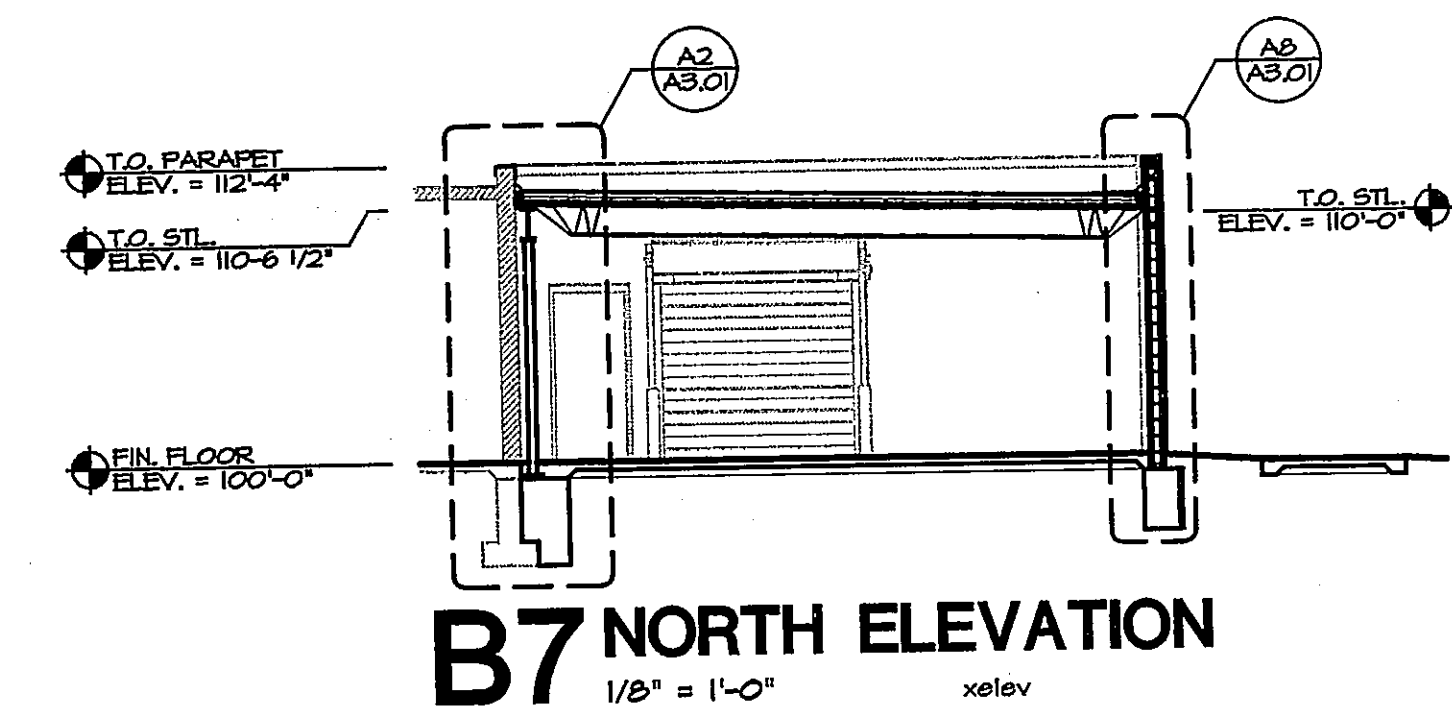
G7 NORTH ELEVATION
1/8" = 1'-0" xelev



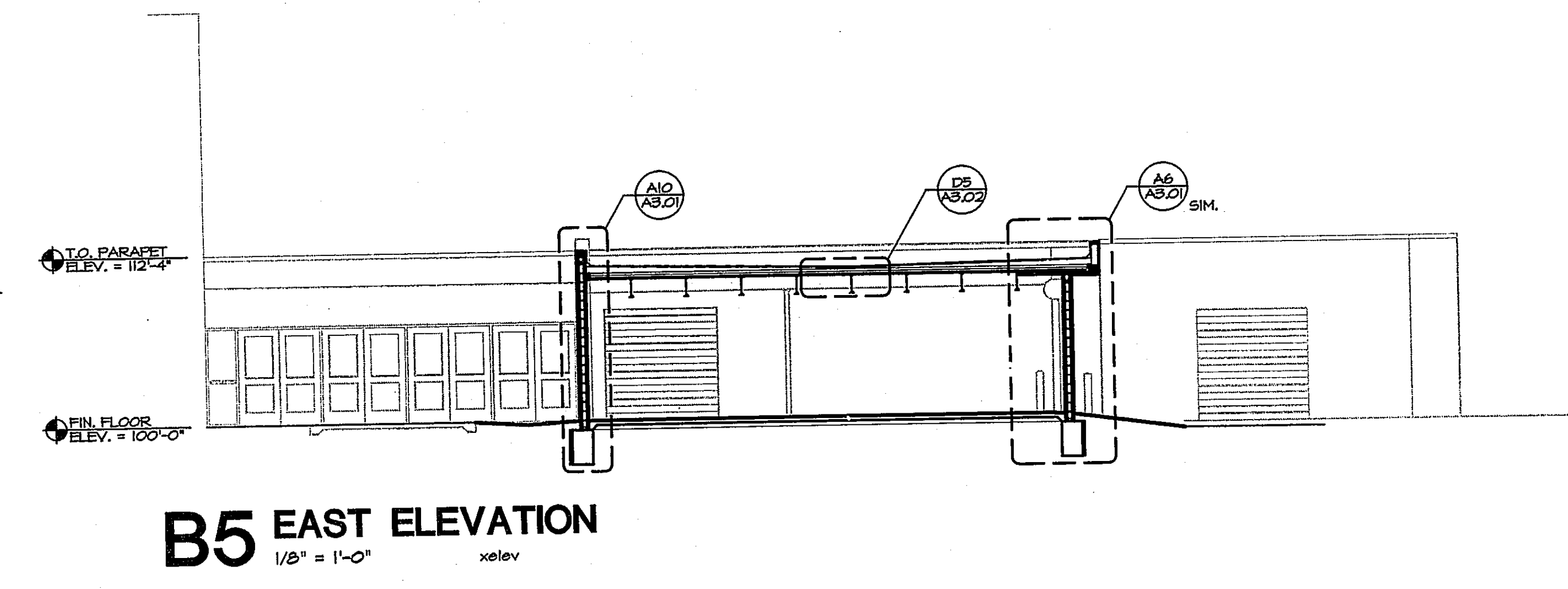
G5 EAST ELEVATION
1/8" = 1'-0" xelev

- | GENERAL NOTES: | ELEVATION KEY NOTES: |
|---|--|
| 1) EXTERIOR CAULK COLOR TO BE PICKED BY THE ARCHITECT THROUGH SHOP DRAWINGS. COLOR WILL BE PICKED FROM STANDARD COLORS. | 1) BOARD-FORMED CONCRETE TO MATCH EXISTING CONCRETE IN COLOR AND FINISH. |
| 2) MAINTAIN CONSISTENT 3/8" TOOLED GROUT AT EXPOSED FACE OF ALL MASONRY CONSTRUCTION. UNO. | 2) STUCCO TO MATCH EXISTING STUCCO IN COLOR AND FINISH. |
| 3) CAST-IN-PLACE CONCRETE TO MATCH EXISTING CAST-IN-PLACE CONCRETE IN COLOR AND FINISH. | 3) PRE-FINISHED METAL COPING TO MATCH EXISTING COPING IN COLOR AND FINISH. |
| | 4) BOLLARDS; RE: E4/SP1.01 |
| | 5) COILING GARAGE DOOR; COLOR TO MATCH EXISTING GARAGE DOOR. |
| | 6) DOWNSPOUT NOZZLE; RE: ME1.01 |
| | 7) CONTROL JOINTS IN STUCCO |

* SEE SHEET A3.01 FOR ACTUAL WALL ELEVATIONS.



B7 NORTH ELEVATION
1/8" = 1'-0" xelev



B5 EAST ELEVATION
1/8" = 1'-0" xelev

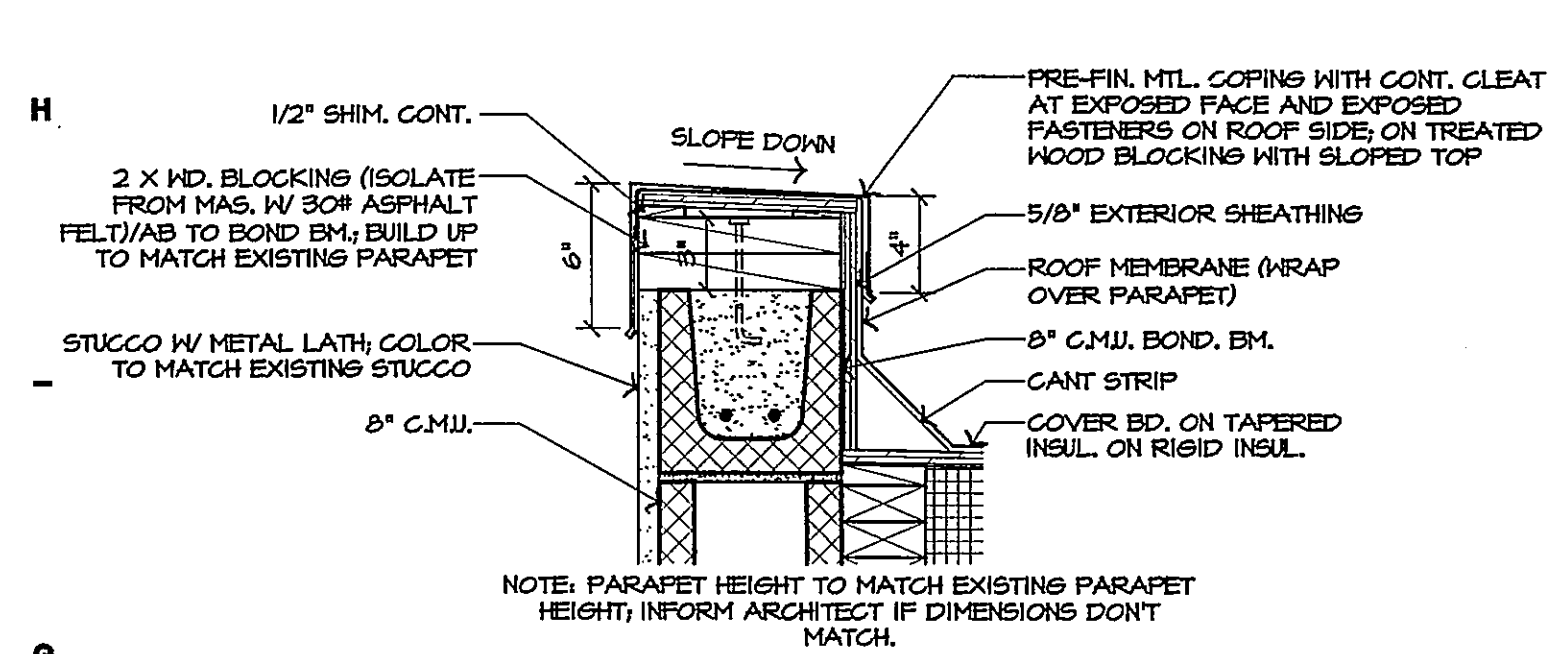
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KANSAS CITY, KS 66112

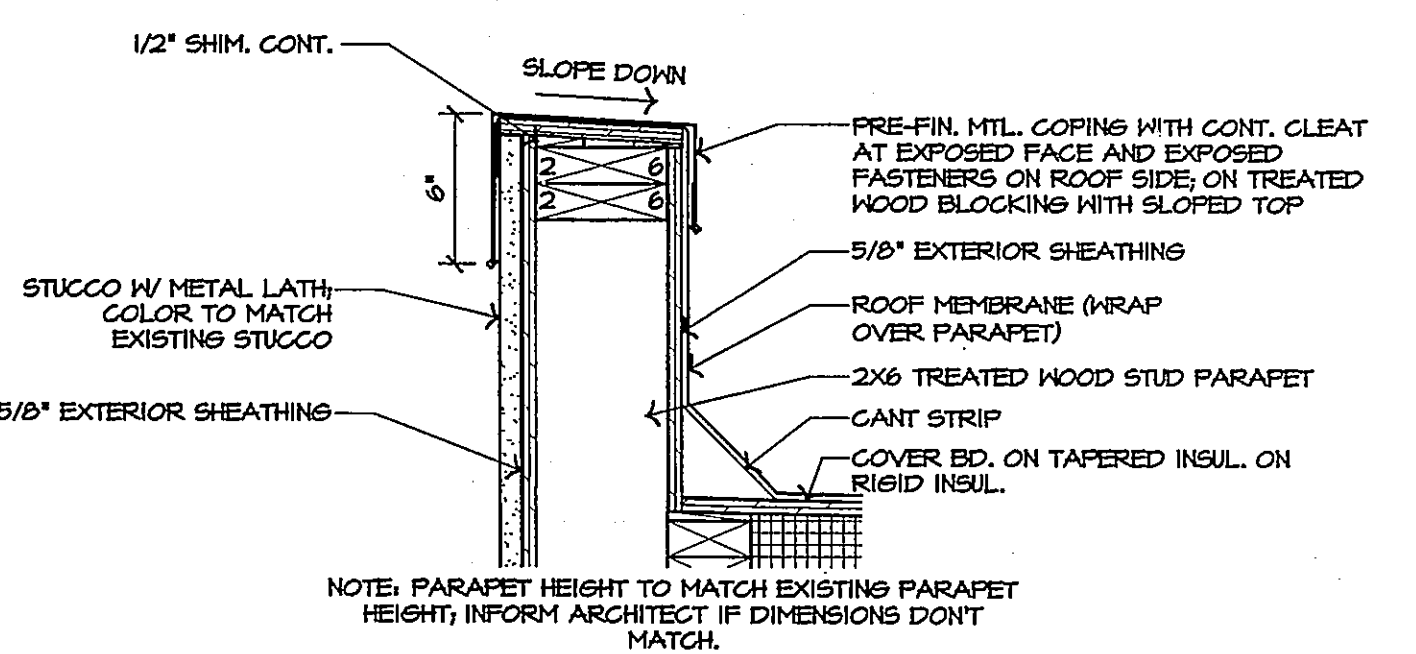
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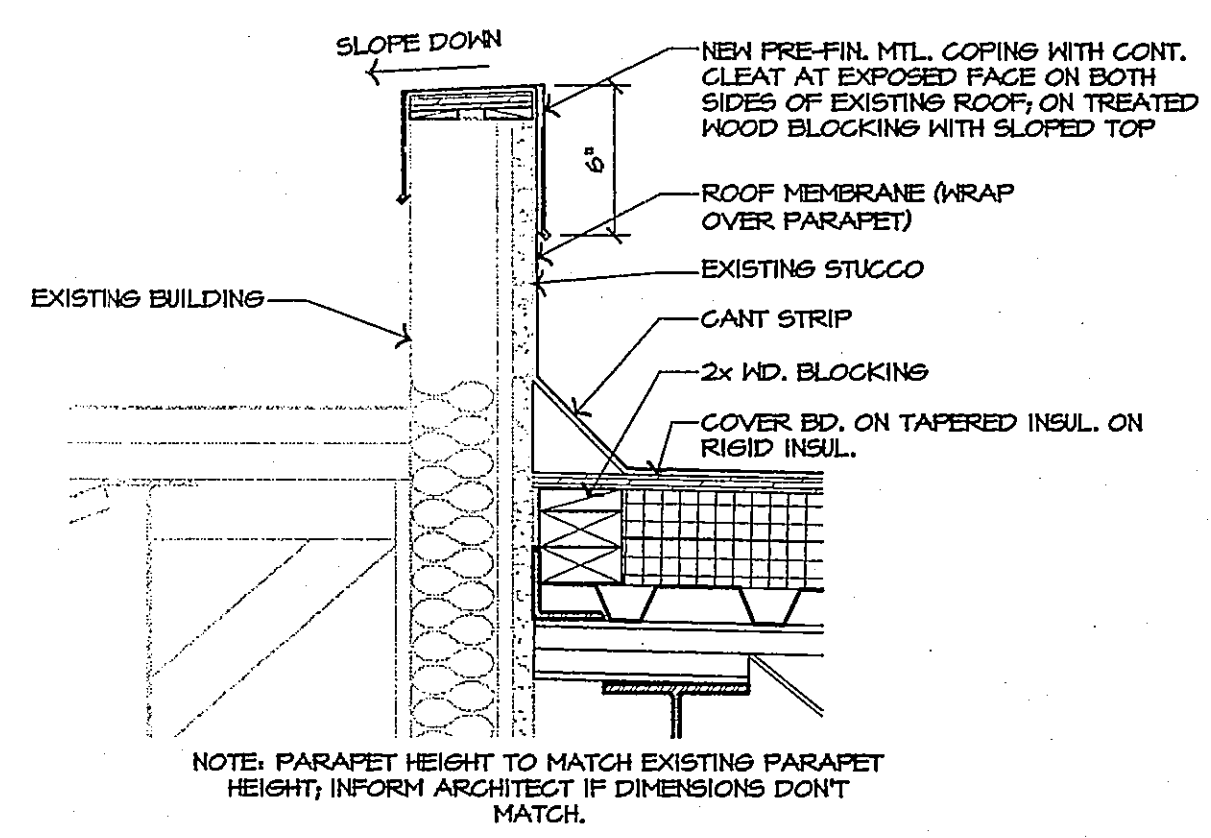
EXTERIOR
ELEVATIONS
A2.01



METAL COPING DETAIL
G9 1 1/2" = 1'-0" details 1-2

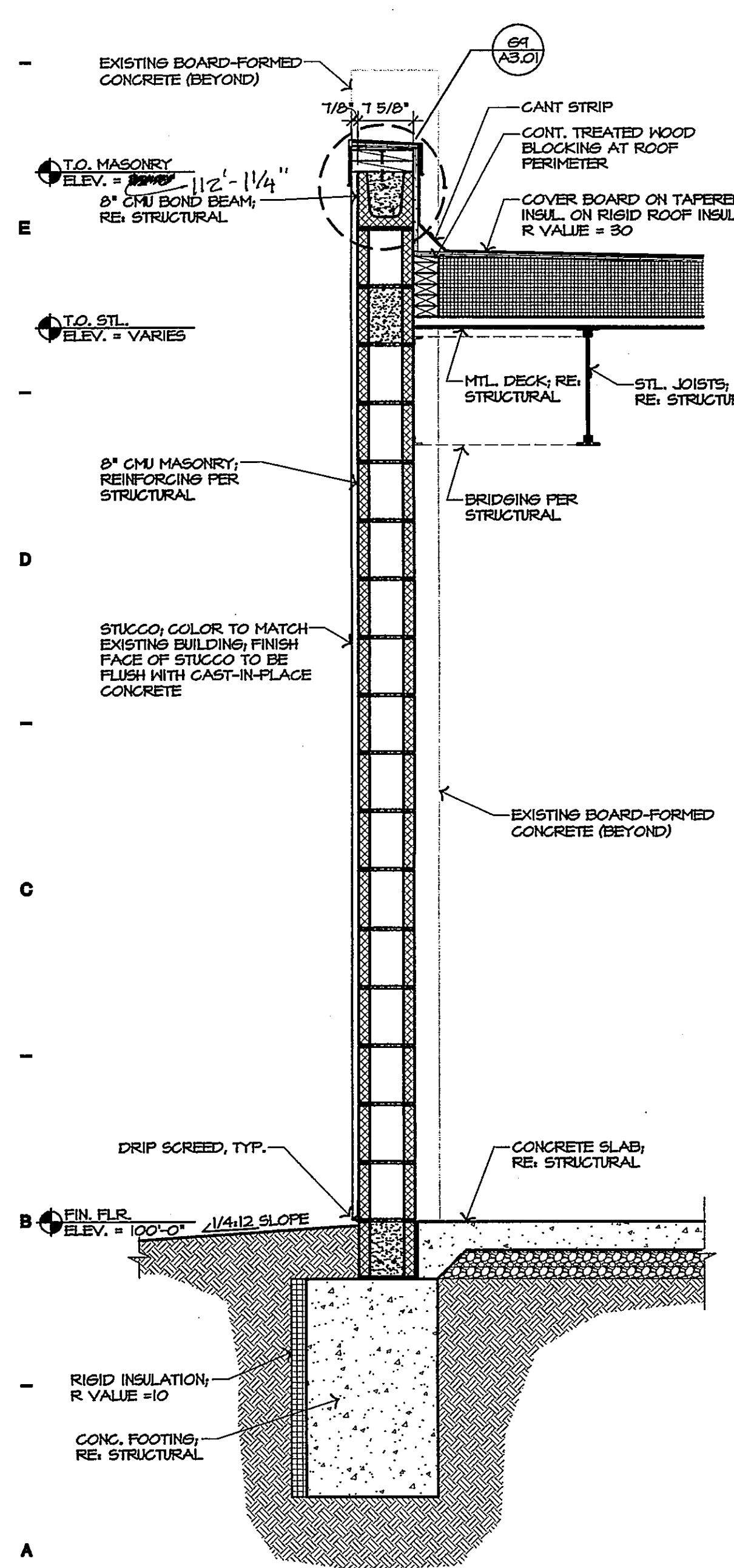


METAL COPING DETAIL
G7 1 1/2" = 1'-0" details 1-2

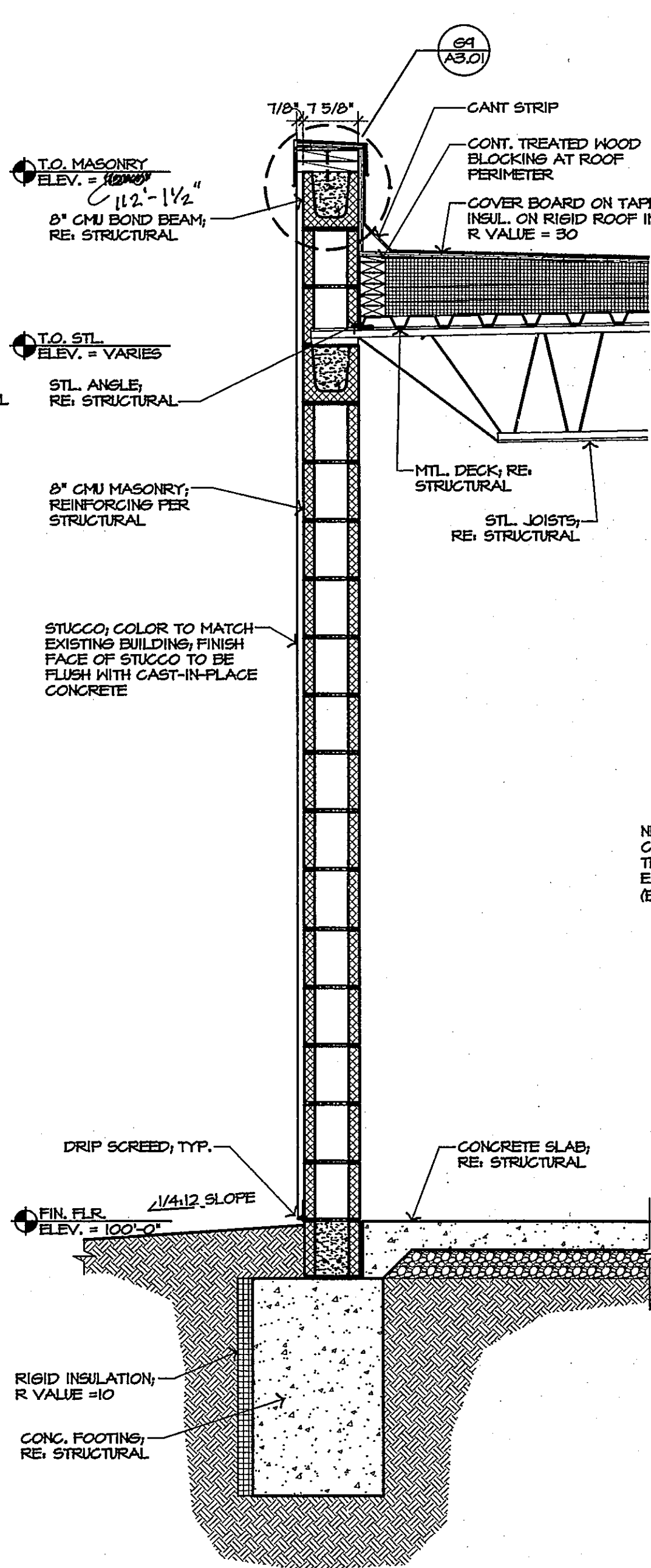


METAL COPING DETAIL
F5 1 1/2" = 1'-0" details 1-2

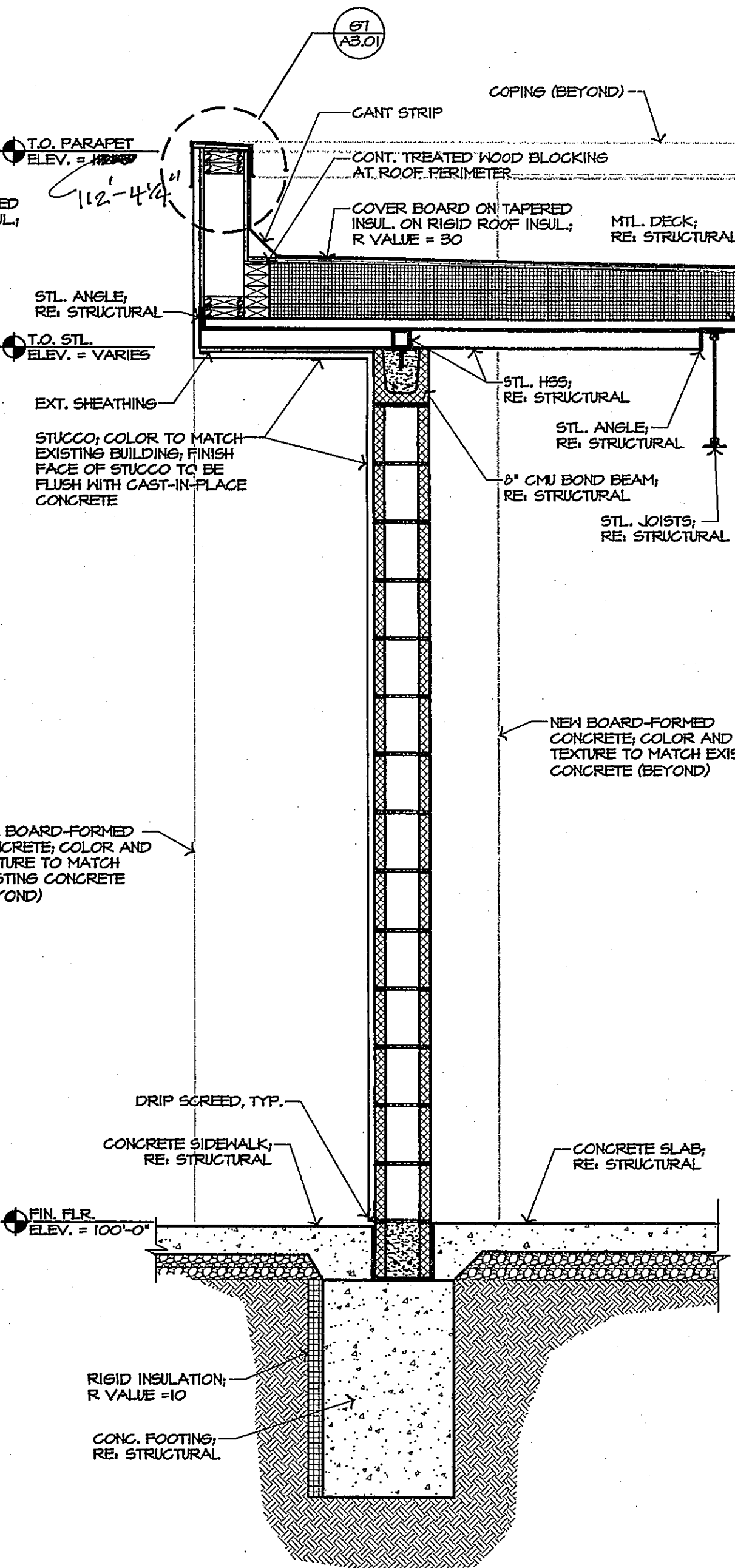
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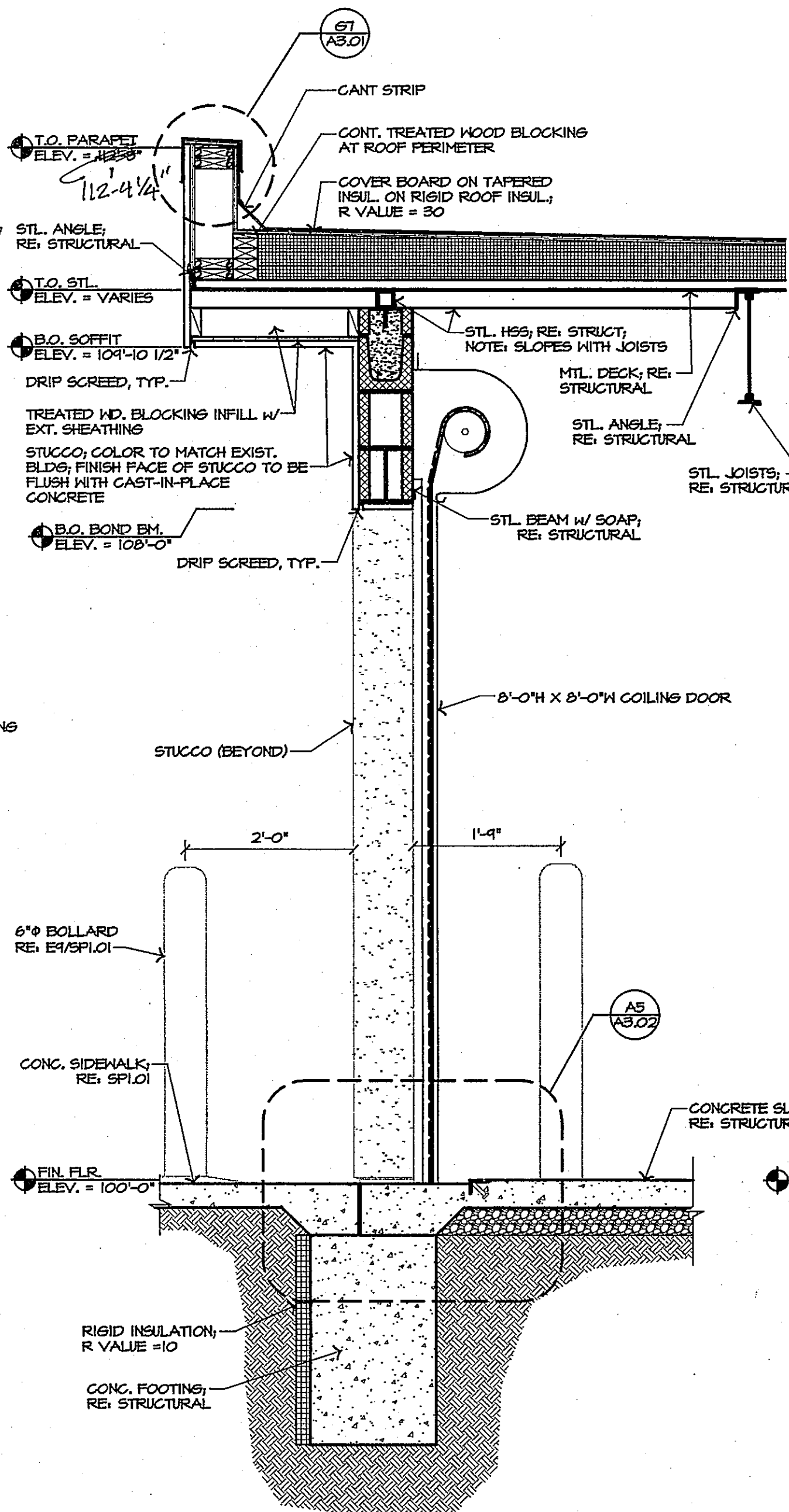
A10 WALL SECTION
 3/4" = 1'-0"



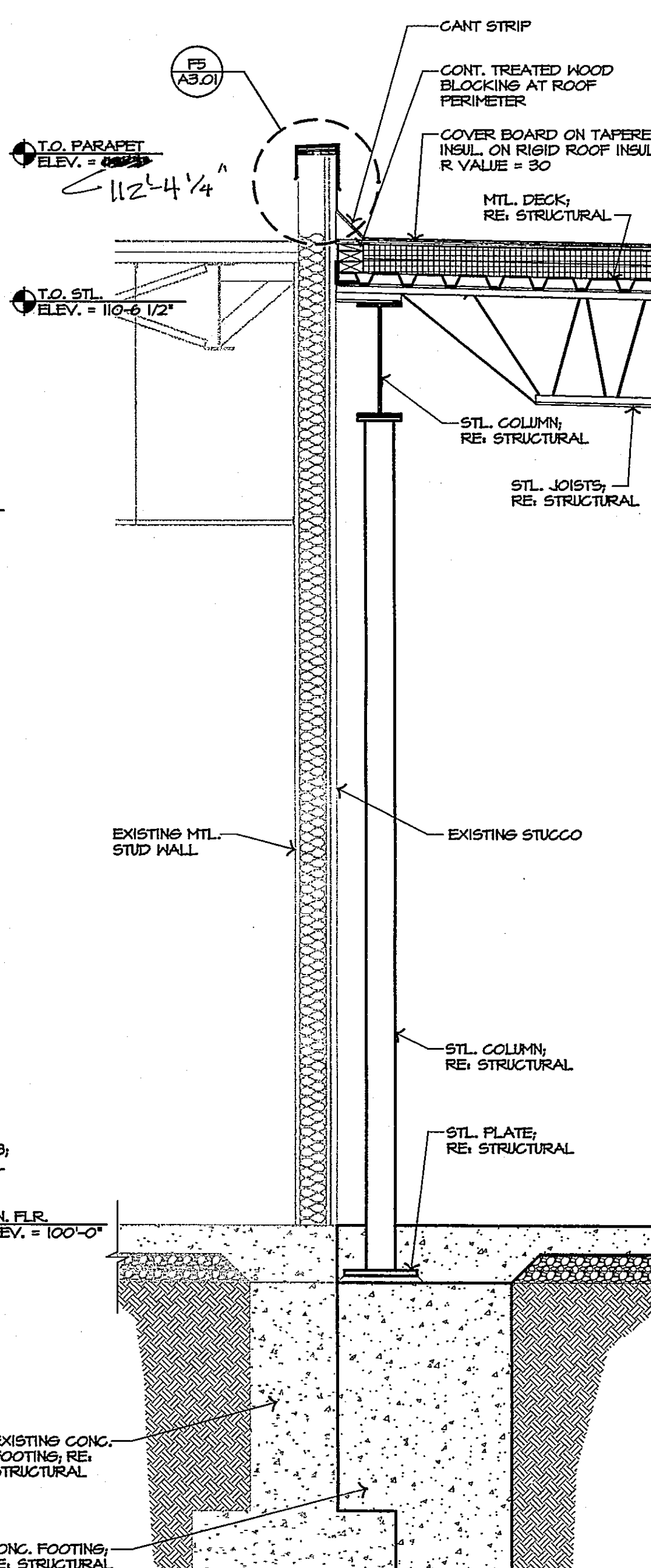
A8 WALL SECTION
 3/4" = 1'-0"



A6 WALL SECTION
 3/4" = 1'-0"



A4 WALL SECTION
 3/4" = 1'-0"



A2 WALL SECTION
 3/4" = 1'-0"

AS-BUILT PLANS
KCKCC FIELD HOUSE ADDITION
 BY: ED MOORE CONSTRUCTION
 (913) 856-2300

KCKCC FIELD HOUSE ADDITION

7250 STATE AVE
 KANSAS CITY, KS 64122

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WALL SECTIONS & DETAILS

A3.01

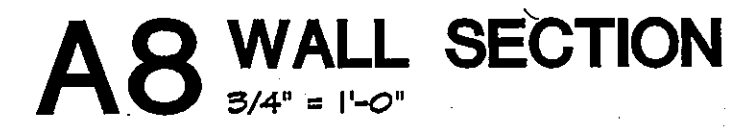
KCKCC FIELD HOUSE ADDITION

1200 STATE AVE
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BUILDING SECTIONS & WALL SECTIONS

A3.02

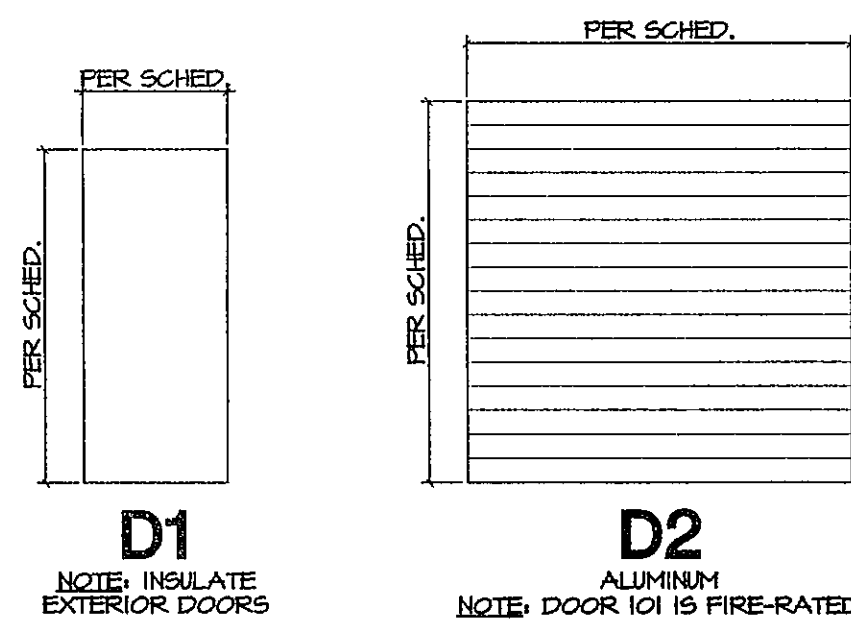


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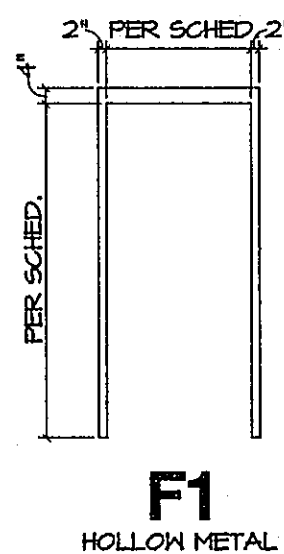
DOOR SCHEDULE										
DOOR INFORMATION					FRAME INFORMATION				ASSEMBLY	
NO.	SIZE	DOOR MATL.	DOOR TYPE	HOWE GROUP	FRAME MATL.	FRAME TYPE	HEAD	JAMB	SLT/ THRESHOLD	UL RATING
101	8'-0" x 8'-0" O.V.H.D.	ALUM.	D2	1	—	—	—	C1/A5.01	n/a	1 1/2 hrs.
102	3'-0" x 7'-0"	HM	D1	2	HM	F1	A10/A5.01	A1/A5.01	ST/A5.01	
103	8'-0" x 8'-0" O.V.H.D.	ALUM.	D2	3	—	—	—	C10/A5.01	n/a	

DOOR SCHEDULE GENERAL NOTES

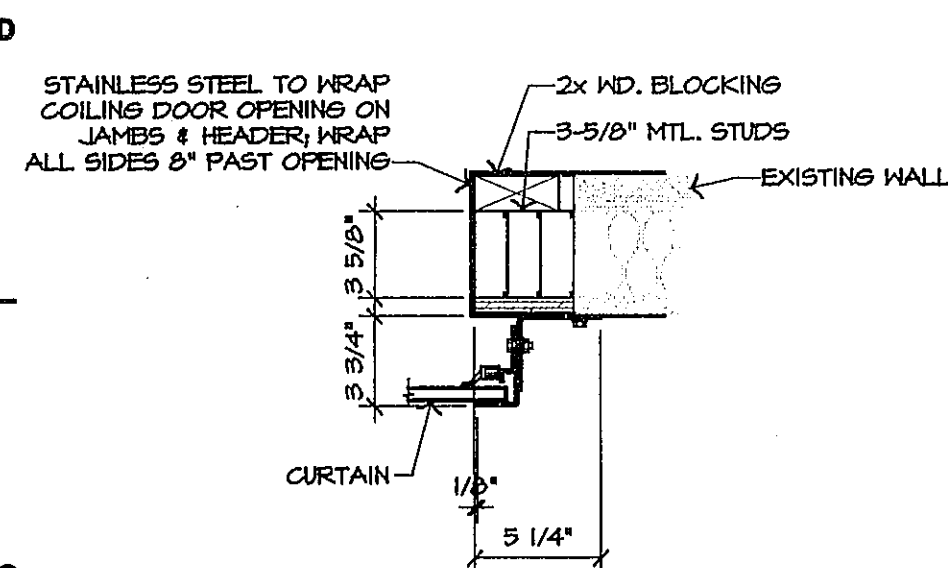
1) HOLLOW METAL DOORS TO BE 1-3/4" THICK UNO.



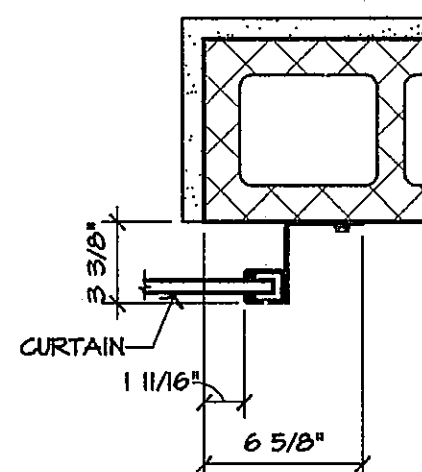
E10 DOOR TYPES
1/4" = 1'-0"



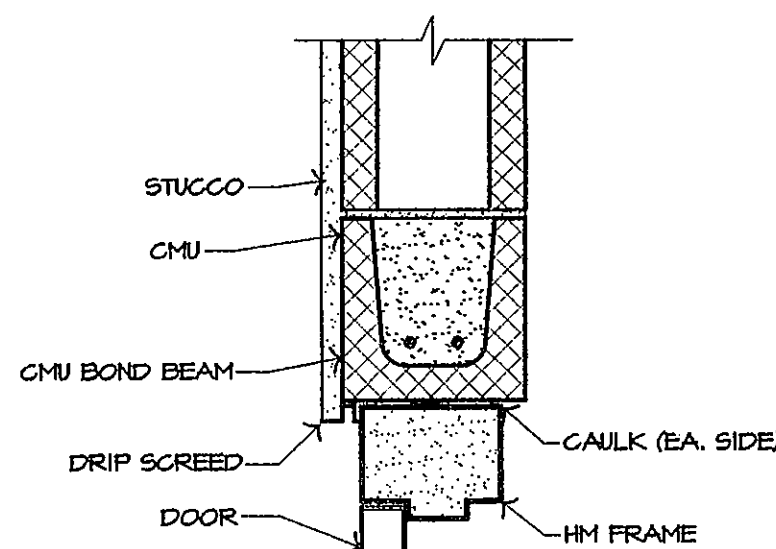
E8 FRAME TYPES
1/4" = 1'-0"



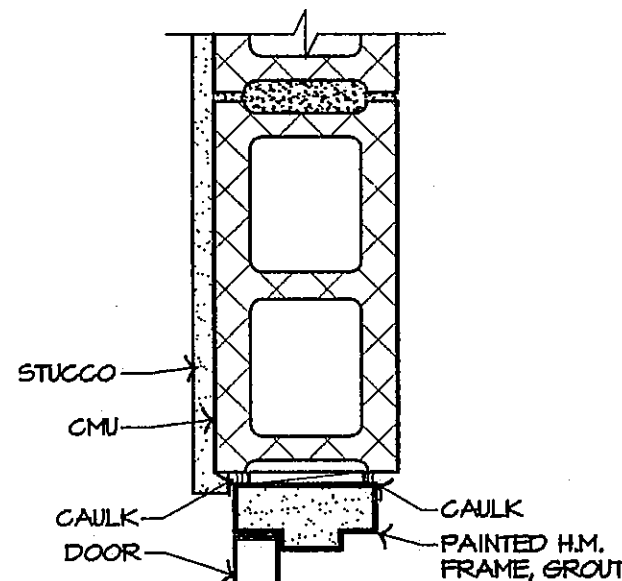
C10 JAMB DETAIL
1/2" = 1'-0"
xdetails 1-2
NOTE: FIELD VERIFY WALL THICKNESS AFTER DOOR OPENING HAS BEEN CUT.



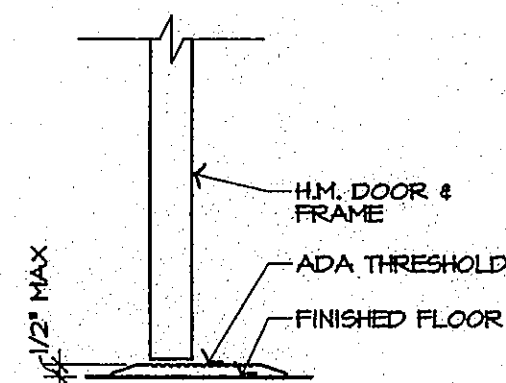
C9 JAMB DETAIL
1/2" = 1'-0"
xdetails 1-2
NOTE: FIELD VERIFY WALL THICKNESS AFTER DOOR OPENING HAS BEEN CUT.



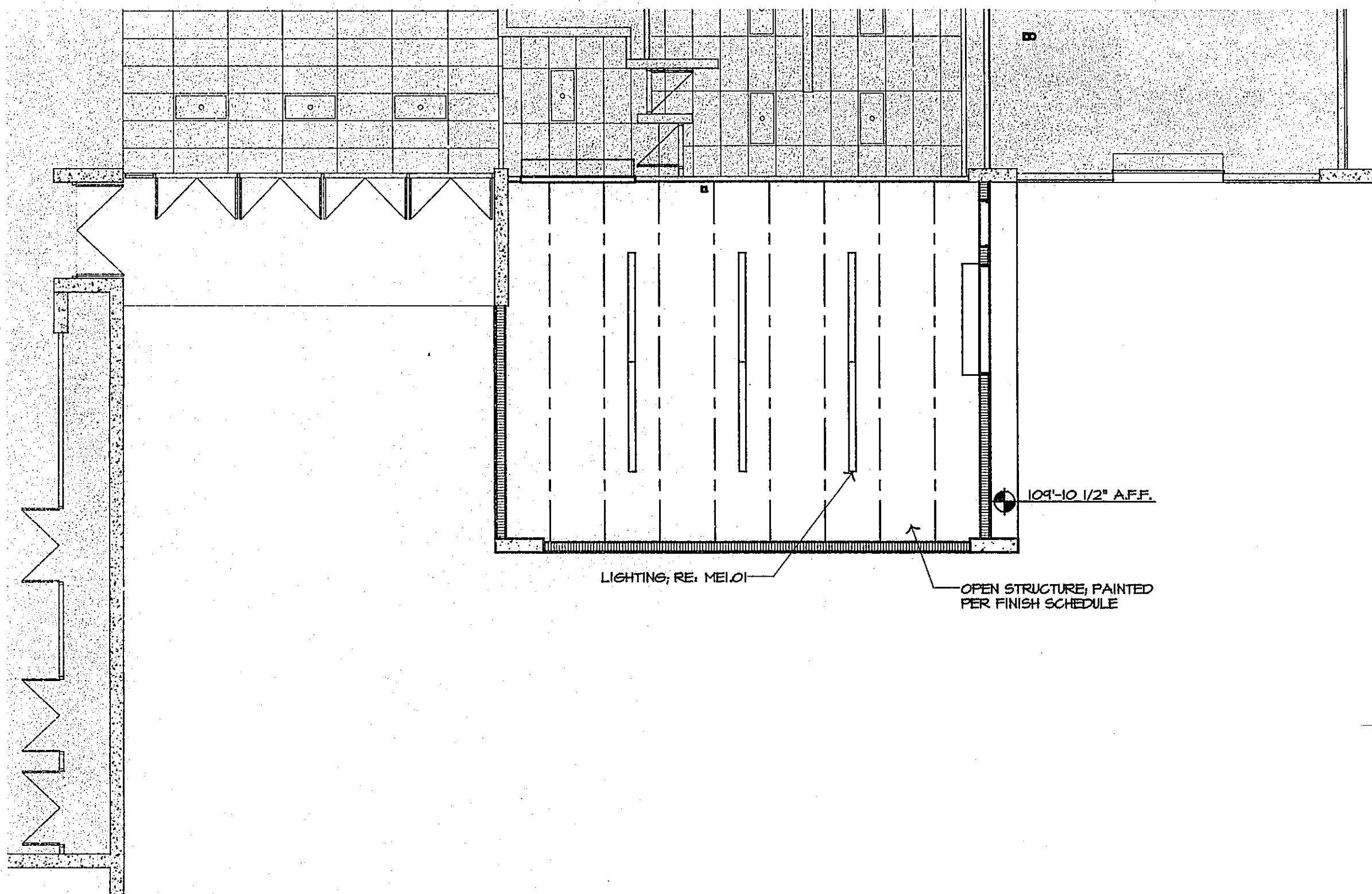
A10 HEAD DETAIL
1/2" = 1'-0"
xdetails 1-2



A9 JAMB DETAIL
1/2" = 1'-0"
xdetails 1-2



G7 THRESHOLD DETAIL
1/2" = 1'-0"
xdetails 1-2



D5 REFLECTED CEILING PLAN
1/8" = 1'-0"
xplan

FINISH LEGEND			
KEY	PRODUCT	MANUFACTURER	PATTERN-COLOR
FI	SEALED CONCRETE	REFER TO SPEC.	CLEAR
BI	4" RUBBER COVE BASE ROLL	ROFFE	110 BROWN
PI	PAINT, SEMI-GLOSS	SHERWIN WILLIAMS	5N 7513 EAGLET BEIGE

FINISH SCHEDULE		FLOOR		WALLS				Ceiling	Remarks
		Finish	Base	North	East	South	West		
101	STORAGE	FI	BI	PI	PI	PI	PI	STRUCT.	1 2

FINISH SCHEDULE KEY NOTES:

1) PAINT ALL EXPOSED STRUCTURE, DUCTWORK, CONDUIT, ECT (PI), PER FINISH SCHEDULE.

AS-BUILT PLANS
KCKCC FIELD HOUSE ADDITION
BY: ED MOORE CONSTRUCTION
(913) 856-2300

GENERAL RCP NOTES:

- ALL CEILINGS TO BE OPEN STRUCTURE, UNO.
- ROOMS W/ EXPOSED STRUCTURE REQUIRE PAINTING OF ALL EXPOSED STRUCTURE, DUCTWORK, CONDUITS, ETC.

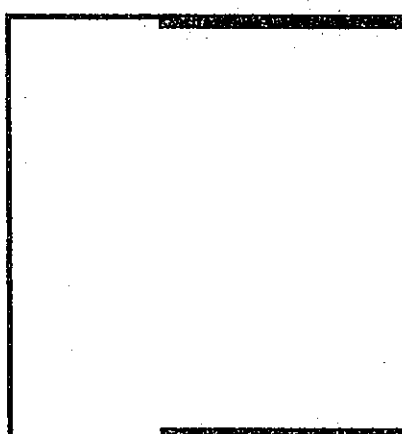
KCKCC FIELD HOUSE ADDITION

Williams
Spurgeon
Kuhl &
Freshnock
Architects, Inc.

REFLECTED
CEILING PLAN/
DOOR & FINISH
SCHEDULES
A5.01

JOB NUMBER	08117
ISSUE DATE	08 / 28 / 09
REVISIONS	

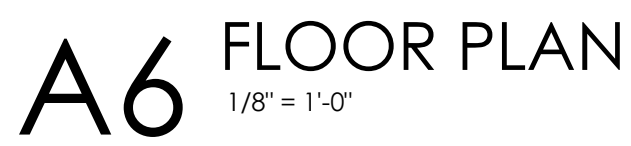
Williams Spurgeon
Kuhl & Freshnock
Architects, Inc. © 2009



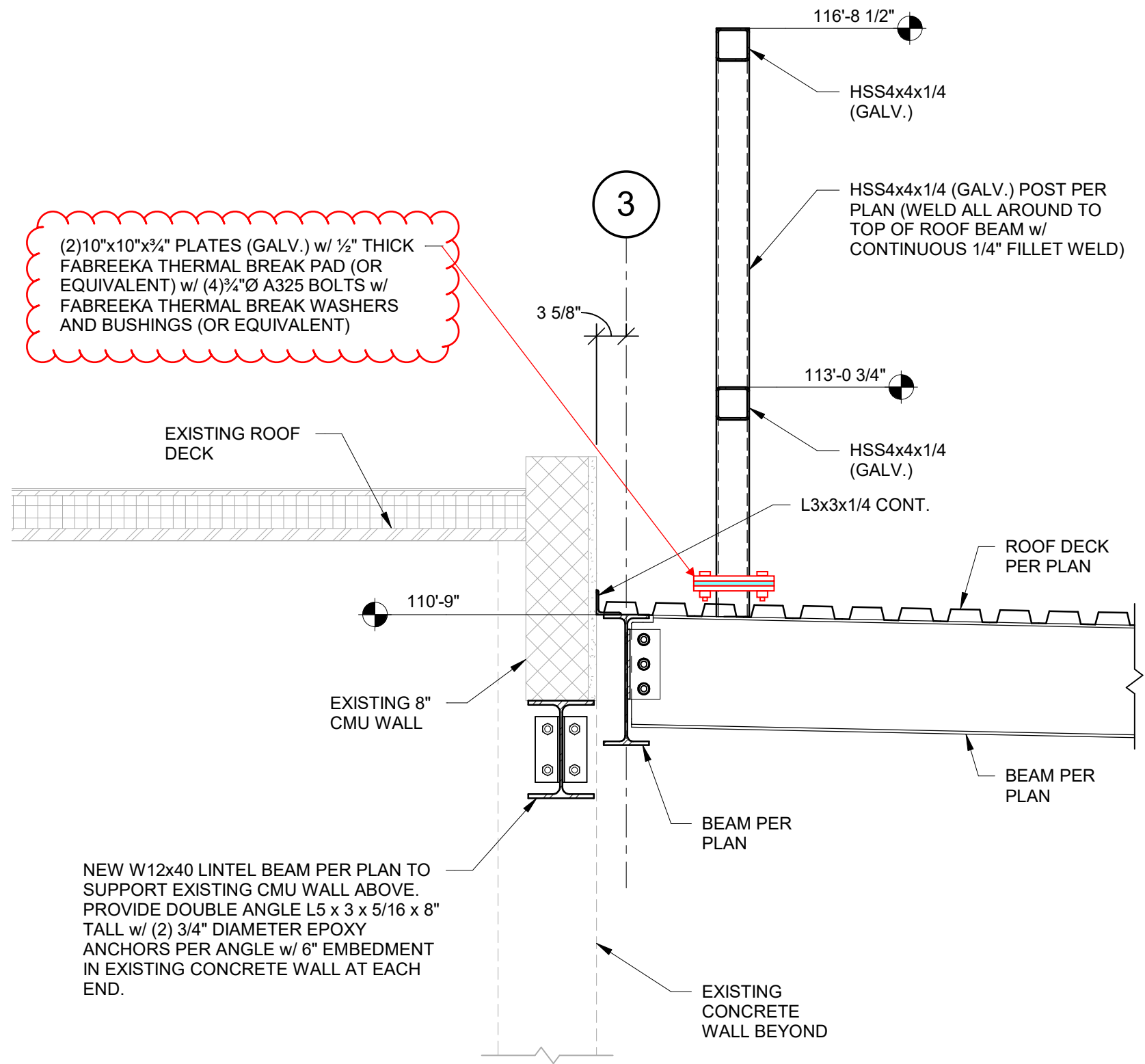
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2	EXISTING ELECTRICAL EQUIPMENT TO REMAIN UNPAINTED. PROTECT DURING CONSTRUCTION
3	PATCH HOLE IN WALL
4	ADD INSULATION TO EXISTING EXPOSED PIPE
5	STL. COLUMN RE: STRUCT. PAINT TYP. UNO.
6	CONCRETE SIDEWALK ALTERNATE #2 RE: SP1.01
7	JOINT BETWEEN EXISTING AND NEW SLABS

G7 CEILING PANELS



KCKCC Field House Addition
ADDENDUM TWO
SHEET S2.02
WSKF Architects
Bob D Campbell & Co.



4 SECTION
3/4" = 1'-0"

**SECTION 004323
ALTERNATES FORM**

1.01 THE FOLLOWING IS THE LIST OF ALTERNATES REFERENCED IN THE BID SUBMITTED BY:

1.02 (BIDDER) _____

1.03 TO (OWNER): KANSAS CITY KANSAS COMMUNITY COLLEGE

1.04 DATED _____ AND WHICH IS AN INTEGRAL PART OF THE BID FORM.

ALTERNATES LIST

2.01 THE FOLLOWING AMOUNTS SHALL BE ADDED TO OR DEDUCTED FROM THE BID AMOUNT. REFER TO SECTION 012300 - ALTERNATES.

ALTERNATE # 1 - MOISTURE MITIGATION: (DEDUCT) \$ _____

ALTERNATE # 2 - SIDEWALK SCOPE: (DEDUCT) \$ _____

ALTERNATE # 3 - RTU SCREEN THERMAL BREAK: ADD \$ _____

END OF SECTION

**SECTION 012300
ALTERNATES**

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Description of Alternates.
- B. Procedures for pricing Alternates.
- C. Documentation of changes to Contract Price and Contract Time.

1.02 RELATED REQUIREMENTS

- A. Document 002113 - Instructions to Bidders: Instructions for preparation of pricing for Alternates.
- B. Document 004323 - Alternates Form: List of Alternates as supplement to Bid Form.
- C. Document 005200 - Agreement Form: Incorporating monetary value of accepted Alternates.

1.03 ACCEPTANCE OF ALTERNATES

- A. Alternates quoted on Bid Forms will be reviewed and accepted or rejected at Owner's option. Accepted Alternates will be identified in the Owner-Contractor Agreement.
- B. Coordinate related work and modify surrounding work to integrate the Work of each Alternate.

1.04 SCHEDULE OF ALTERNATES

- A. Alternate No. One - Moisture Mitigation:
 - 1. Base Bid Item: The base bid stipulates the use of slab moisture mitigation for the entire fitness area, new and existing slabs as noted in Section 090561, Common Work Results for Flooring Preparation.
 - 2. Alternate Item: The alternate bid deletes the slab moisture mitigation for the entire fitness area, new and existing slabs.
- B. Alternate No. Two - Sidewalk Scope:
 - 1. Base Bid Item: The base bid stipulates all concrete sidewalk work as included in the project.
 - 2. Alternate Item: The alternate bid deletes the hatched sidewalk work from the project as noted on Sheets D1.01 and SP1.01.
- C. Alternate No. Three - RTU Screen Thermal Break:
 - 1. Base Bid Item: The base bid stipulates that the vertical HSS tube steel posts for the RTU screen are to be welded directly to the top flange of the steel roof beams with no thermal break detail included.
 - 2. Alternate Item: The alternate bid separates each post into two pieces that are separated by a thermal break material. The lower piece is a shorter HSS post with a $\frac{3}{4}$ " x 10" x 10" cap plate and the upper piece is a taller HSS with a $\frac{3}{4}$ " x 10" x 10" base plate. The cap plate and the base plate are to be separated by a $\frac{1}{2}$ " thick Fabreeka thermal break pad and bolted together with four $\frac{3}{4}$ " diameter A325 bolts. All steel is to be hot-dip galvanized.

PART 2 PRODUCTS - NOT USED

PART 3 EXECUTION - NOT USED

END OF SECTION



707 Minnesota Ave, Suite 506
Kansas City, KS 66101
p. 913.287.1900
wskfarch.com

MEETING NOTES

Meeting Subject: Pre-Bid Conference
Date: Wednesday, October 18, 2023 @ 10:00am
Project: KCKCC Field House Addition

Project No.: 22060A
Meeting Location: KCKCC Field House – 7250 State Ave, Kansas City, KS 66112

The following is the planned agenda for our Pre-Bid Meeting. The purpose of this meeting is to overview the project bid requirements and the envisioned final design.

Project Representatives

- Owner Representatives – Kansas City Kansas Community College
 - Lulio Marin Alfonso, KCKCC Interim Director of Facility Services / Project Representative
 - Shelley Kneuvean, KCKCC CFO
- Architect – WSKF Architects, 913.287.1900
 - Dalyn Novak, Principal in Charge
 - Brendan Tourney, Project Designer
- Structural Engineer – Bob D. Campbell & Co.
 - Chris W. Boos
- MEP Engineer – PKMR Engineers
 - Mike Raaf, Steve Tobin

Agenda

- Opening Comments / Introductions
- Invitation to Bid
 - Bid Date, Tuesday, October 31, 2023, 2 p.m.
 - Submit your bid one of two ways:
 - Electronic bids to: Dalyn Novak, dnovak@wskfarch.com
 - In-Person/Physical bids to: Shelley Kneuvean's Office
 - Bids will not be publicly opened.
- Bid Security/Proposal Guarantee
 - Bid security shall be submitted with each bid in the amount of 10 percent of the bid amount.
 - No bids may be withdrawn for a period of 60 days after opening of bids.
 - Owner reserves the right to reject any and all bids and to waive informalities and irregularities.
- Performance & Payment Bonds
 - 100% of the contract sum
- Contract Type
 - Single Prime
 - Liquidated damages stipulation: \$500/Calendar day
 - Weather Days, pg. 88 of Project Manual under the General Conditions
- Bid Stipulations
 - Alternates
 - Alternate #1 – Moisture Mitigation for Flooring
 - Alternate #2 – Sidewalk Scope of Work
 - Alternate #3 – **RTU Screen Thermal Break**
 - Allowances
 - None
 - Unit Prices
 - Unit Price No.1: Removal of unsatisfactory soil / replacement with satisfactory soil material
 - Calendar Days
 - **To be determined by the General Contractor**

- KCKCC Forms
 - Do not forget these forms to be turned in with your bids.
- Schedule
 - A preliminary schedule will be provided by GC to KCKCC and Architect to review after selection.
- Review of Bidding/Contracting Schedule
 - After bidding the Finance Committee will review for approval and then the Board of Trustees will review for approval.
- General Items of Note
 - Substitutions
 - All desired substitutions should be requested prior to bidding.
 - Use specified form for all substitutions.
 - After bidding, substitutions are not allowed unless such change offers advantages to the owner for accepting such (advantage in terms of equal or better product for less cost, local availability or similar).
 - Cost for reviewing substitutions after bidding is \$250/product.
 - Record Drawings will be required.
 - Communication
 - During Bidding and Construction, all project related communication shall be directed to the architect. Any communication directed to the owner or other similar project representatives shall be treated as unofficial communication and, therefore, not within the contract provisions of the project.
 - KCKCC Campus Security
 - Campus Police, 913.288.7636, Room 3462, Jewell Student Center
 - On Duty 24/7 to answer calls
 - Note personnel restrictions and personnel identification
 - Owner Furnished/Contractor Installed (OFCI) Products
 - Refer to Architectural Sheet A7.01 for a listing of OFCI list of items.
 - Bid Form
 - 1.05 Offer, Item E needs to be updated as this project is tax exempt.
 - 1.11 Bid Form Supplements
 - Don't forget Performance & Payment Bonding, Bid Security, etc.
- Project Manual
 - Review of selected sections.
- Design Review
 - Site Design
 - Architectural Design
 - Structural Design
 - MEP Design
 - Items not to be missed during bidding:
 - Dirtwork/Grading Scope – Please make sure your dirtwork/grading subcontractor has time to take a look at the amount of grading work required for this project. A civil engineer is not part of this project and quantities for earthwork have not been provided. It is the contractor's responsibility to provide fill or remove dirt as required for the project.
 - Mechanical – Keeping the ductwork in between structure and tight to the bottom of structure is extremely important for this project due to having to match existing structural heights in the two existing spaces.
 - Floor Levelness – The two existing spaces appear to have a similar floor elevation, within a quarter inch.
 - Integral Colored Board-Formed Concrete – Take a good look at the existing concrete work around KCKCC's campus. The maroon, board formed concrete work will be part of this project as well.
- Building Permit Status
 - Drawings were submitted Wednesday, October 11, 2023 to Unified Government.
 - Owner is paying for building permit.
- Addendum
 - Addendum 1 was issued on Monday, October 16th.
 - Addendum 2 to be issued no later than Monday, October 23rd.

- Addendum 2 to include meeting notes and sign in sheet from today's Pre-Bid Conference as well as any approved products for substitution, changes to the specs/drawings, and questions/answers that have occurred outside of this meeting.
- Questions/Answers
 - **Who is the fire alarm company?**
 - Midwest Alarm Services
 - **Is the existing roof under warranty?**
 - KCKCC does not think the existing roof is under warranty. There have been discussions about replacing the existing roof soon but that scope is not part of this project.
 - **Will the existing ducts be removed in the east existing area?**
 - The section of ductwork along the west wall will remain as it serves the outdoor restrooms but the ductwork and rooftop unit that serves the area will be removed.
 - There were multiple questions about mechanical demo work. Please refer to Sheet MEP1.0 for MEP demolition.
 - **Who does the existing rooftop unit go to?**
 - The unit is to be demolished. Contractor to remove from site.
 - **Is there shoring required for this project and if there is, is the owner paying for it separately?**
 - Shoring is required where exterior walls are being removed, this work is to be included as part of this project.
 - **Do you know the routing of the existing roof drain in the north existing area?**
 - No, we do not, we assume that the line runs toward the storm inlet shown to be relocated to the north due to the building foundation. We assume that no existing concrete will need to be removed to connect the existing roof drain to the new storm inlet and that all work should be outside of the existing building.
 - **Are there any issues removing / cutting back trees in the forest nearby for grading?**
 - Trees will need to be cut back to allow a mowable slope/grade around the corner of the building. At the same time, the treed area is important to KCKCC so we want to minimize removal to only what must be removed to make grading work. Area of removal will need to be reviewed with the Owner and Architect prior to any tree clearing but we don't foresee any major concerns.
 - **Height of the mechanical screen?**
 - The height of the mechanical screen for the rooftop unit is called out in Section 4 on Sheet S2.02.
 - **Which flooring manufacturer reached out to WSKF for a substitution request?**
 - Dynamic Sports Construction, Inc. – DynaFit Rubber Fitness Flooring. Please note that this request was sent back unreviewed as the substitution did not follow the requirements in the project manual and has not been submitted again. It is not currently an acceptable substitute for the specified flooring.
- Facility Tour



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PRE-BID CONFERENCE SIGN-IN SHEET

PROJECT: KCKCC Field House Addition
PROJECT NUMBER: 22060A
DATE: October 18, 2023

NAME (Please Print)	COMPANY (Name and address)	PHONE	EMAIL
Dean Klingensmith	United Heating & Cooling Inc.	816-215-0267	dean.k@unitedheating.com
Mike Wilkins	Wilcox Const Inc.	816-392-9752	MWilkins@WilcoxConstruction.com
Tony Spudis	Remco Demo	913-298-9519	tony@remcodemo.com
JP Pauley	Superior Elect. Const	816-810-3909	jpauley@superior-elect.com
Anthony Frasier	Premier Contracting Inc	913-677-4700	anthony@PLI-KC.com
Mary Detrick	Eiberger Construction (Demo)	816-330-3539	mary@eibergerconstruction.com
Brandon Pfizenmaier	Crossland Construction	816-780-7873	bpfizenmaier@crossland.com
JAMIE OSWALD	AXIS CONSTR.	913-952-1428	jamie@acgbuilt.com
Adam Scholtz	Meridian Roofing Solutions	785-267-2672	adam@meridianroof.com
Joe Buelt	Sampson Construction	402-306-2454	joe.buelt@sampson-construction.com
Miles Perry	Centric	816-810-5463	miles.perry@centric.build
Joe Reynolds	Childrens Ptg	816-433-8233	joe@childrenspainting.com
Chris Whipple	A+C Group	913-529-6287	CWhipple@acgroup.com
La Howell	Luminas technologies	913-669-6950	LtH.Lutech@gmail.com